



**AGENDA
TOWN OF JUPITER
PLANNING AND ZONING COMMISSION REGULAR MEETING
COUNCIL CHAMBERS
TUESDAY, MAY 13, 2025
7:00 PM**

The Planning and Zoning Commission (PZC) also acts as the Local Planning Agency (LPA) and the Zoning Board of Adjustments (ZBA).

NOTE: Those who wish to speak before the Commission must submit a green comment card to the secretary. Each comment is limited to three minutes. Speakers are asked to approach the podium when called. Please state name and address for the record prior to addressing the Commission.

Call To Order

ROLL CALL

Chair Kevin Kirn	
Comm. Michael Cassatly	Town Attorney, Thomas Baird, Esq.
Comm. Dan Guisinger	Director of Planning and Zoning, John Sickler
Comm. Beth Kelso	
Comm. David Thompson	Asst. Director of Planning and Zoning, Stephanie Thoburn
Comm. Karen Vinson	
Comm. Paul Keenan (1st Alt)	Secretary, Vernisa Ayers
Comm. Cynthia Blum (2nd Alt)	

MINUTES

Motion to approve the minutes from March 11, 2025 Regular Planning and Zoning Commission Meeting.

CITIZEN COMMENTS

Non-agenda topic citizen comments will be noted by staff for follow-up, as appropriate. The Commission will not discuss these items at this meeting.

REGULAR AGENDA

Order of Business:

The normal order of business for hearings of agenda items is as follows:

- Declaration of ex-parte communications
- Swearing-in of witnesses
- Applicant presentation

- Staff presentation
- Intervenor (if any) presentation
- Commission questions of Applicant, Intervenor and Staff
- Public to be heard – Three-minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor - Discussion only on the motion
- Call for the vote

OLD BUSINESS

NEW BUSINESS

1. **Jupiter Community Park (JCP) Utility Building** – Site Plan application to construct a one-story electrical/ generator building with park restrooms located at 1201 Island Way.

Town Council Consideration: June 17, 2025

STAFF UPDATE

Planning and Zoning Director report on recent Town Council actions on Commission items.

ADJOURN

Motion to adjourn Planning and Zoning Commission Meeting.

The next regularly scheduled Planning and Zoning Commission Meeting is scheduled for Tuesday, June 10, 2025.

PLEASE TAKE NOTICE AND BE ADVISED that if any interested person desires to appeal any decisions made by the Planning and Zoning Commission with respect to any matter considered at these hearings, such interested person may need a verbatim record of the proceedings made, including the testimony and evidence presented at this hearing.

**TOWN OF JUPITER
PLANNING AND ZONING COMMISSION
DRAFT MINUTES
March 11, 2025 7:00 P.M.**

CALL TO ORDER:

Chair Kevin Kirn called the meeting to order at 7:00 p.m.

ATTENDANCE:

Chair Kevin Kirn; Vice Chair Richard Dunning; Comm. Michael Cassatly; Comm. Dan Guisinger; Comm. Beth Kelso; Comm. David Thompson; Comm. Karen Vinson; Paul Keenan 1st Alternate (non-voting member) and Cynthia Blum 2nd Alternate (non-voting member); John Sickler, Director of Planning & Zoning; Garret Watson, Principal Planner; Jenna Johnston, Planner; Thomas Baird, Esq., Town Attorney; Jim Brown, Building Official; Dennis DePalma, Secretary; and Vernisa Ayers, Secretary.

MINUTES:

1. Motion to approve the revised minutes from February 11, 2025 Planning and Zoning Meeting by Comm. Vinson; seconded by Vice Chair Dunning. Final: Final: Motion passed unanimously, with a 7-0 vote.

SWEARING IN:

Secretary Vernisa Ayers conducted the swearing-in of witnesses for all quasi-judicial items on the agenda.

CITIZEN COMMENTS: None.

REGULAR AGENDA:

OLD BUSINESS:

NEW BUSINESS:

2. **U-Tiki**– Application to amend an approved 4.1± acre Small Scale Planned Unit Development (SSPUD) to reduce the required side corner setback from 35 feet to 17 feet for storage buildings, located at 1095 N. A1A. **(PZ 25-6327)**

Disclosures: Comm. Blum stated she drove by the site. Comm. Kelso stated she walked through the property and spoke with Mr. Watson. Comm. Cassatly stated he was present at the property. Comm. Dunning stated he walked the property, spoke with the service manager, and also talked to Mr. Sickler and Mr. Watson. Chair Kirn stated he spoke with town staff, walked the site, spoke with a service manager and one of the district executives. Comm. Guisinger stated he visited the site, went into a couple storage buildings/offices, spoke with the service manager, Jack Thompson and also had an email exchange with Mr. Watson. Comm. Thompson stated that he drove by the site. Comm. Vinson stated that she drove, walked the site, and spoke with one of the managers. Comm. Keenan had no disclosures.

Applicant presentation: Zach Ciciera representative of Cotleur & Hearing presented a PowerPoint presentation of the proposed project. Josh Levine, Manager of Marine Max, was also in attendance.

Staff presentation: Principal Planner, Garret Watson, reviewed the staff report.

Commissioners asked questions of the Applicant and Staff:

Comm. Keenan asked staff about the proposed artificial reef modules. Mr. Watson explained that the town has been encouraging these reef modules to attract marine life. Comm. Keenan asked staff how they review the placement of the reef modules. Mr. Watson replied that staff defers to the Reef Ball Foundations expertise to make sure they are sited appropriately.

Comm. Vinson inquired about the setback being moved from 35 to 17 feet. Mr. Ciciera explained that the setback they are requesting is 17 feet and the requirement is 35 feet. Comm. Vinson inquired about landscaping around the shipping container. Mr. Ciciera explained that it will be difficult to find good placement for landscaping, but they can commit to low lying plantings. Mr. Ciciera also mentioned that they need to verify if FDOT has requirements for planting. Comm. Vinson asked if there are 2 or 3 buildings and if they are permitted. Mr. Ciciera stated that all 3 buildings are non-permitted buildings and are in the process of permitting. Comm. Vinson asked if anyone was working out of the buildings. Mr. Ciciera stated no, they are service buildings with computers for minute tasks and for inventory, not offices.

Comm. Thompson wanted confirmation if there are computers in the structures. Mr. Ciciera confirmed there are computers. Comm. Thompson asked if there will be electrical, AC, and plumbing or strictly storage sheds. Mr. Ciciera stated that an electrical permit will be pulled.

Comm. Guisinger asked about the definition of an accessory building, adding that it seems like an office building. Joshua Levine stated that he does not know the exact definition of an office space and the service manager has a main office in the main building. Mr. Levine stated that no customers or business will be conducted in the accessory structures.

Comm. Guisinger asked staff if the buildings meet the definition of an accessory building. Mr. Watson stated that they are incidental to their operations and considered them an accessory use. If they were to be used as office space they would be required to be parked separately. In terms of the application being processed, staff was told they were going to be used for storage. Comm. Guisinger asked about the technician and if he has a separate office. Mr. Levine stated that he does not have an office.

Comm. Dunning asked if there had been any positive or negative feedback from the public. Mr. Watson stated there have not received any comments on the public. Comm. Dunning inquired about waiver applicability and about limiting the waiver. Mr. Watson stated that the waiver could be limited to the accessory structures shown on the approved site plan. Comm. Dunning wanted confirmation on if the motion gets approved they will be setting a precedence. Mr.

Watson confirmed, and mentioned that a condition could be added to limit the waiver. Mr. Ciciera stated that there is no other site with these conditions next to the bridge. Comm. Dunning inquired about the marinas operational plan for the Riverwalk. Mr. Ciciera stated that there are two gates that will be closed during fork lift operations for a maximum of 10 minutes to ensure safety.

Comm. Cassatly inquired about the dry dock storage, them needing permitting and wants confirmation that they are modular buildings. Mr. Ciciera confirmed. Comm. Cassatly asked how structurally sound the buildings are. Mr. Ciciera confirmed that they will be up to code and will go through of a full building permit review process. Comm. Cassatly asked if you can take more dry dock storage out and put more unit's underneath. Mr. Ciciera stated they are required 75 dry dock storage and can't remove anymore.

Comm. Kelso asked staff about the past approval and if they currently have an ability to build an office building. Mr. Watson stated that the approval has expired. Comm. Kelso asked if there will be a plan for an office building in the future. Mr. Ciciera stated that it is a possibility in the future. Comm. Kelso asked how tall the potential future structure of an office building can be. Mr. Watson explained that any subsequent office building approval would have to go through its own site plan application process.

Comm. Kelso asked if the black fence is temporary for construction or will be permanent. Mr. Ciciera stated that it is their fence and the they have to verify with the FDOT regarding shielding and buffering purposes. Comm. Kelso asked Mr. Watson if there will be any landscaping on the roadway side. Mr. Watson stated the version of the plans he reviewed has that area being a drainage pond, and will have to look into the DOT requirements. Comm. Kelso inquired about the idea of potential green screens to put on the fence, or to have higher fences, so it is not so visible to the public. Mr. Ciciera agreed with her statement.

Comm. Kim asked if there is a clear line between accessory use and office space. Mr. Watson stated if the building continues to serve the special exception of the marina and is not occupied for a different use, they would be considered accessory. Jim Brown explained that the building code would not consider it an accessory structure and it would have its own occupancy classification after review. Chair Kim asked if anything had been done yet. Mr. Brown said no. Chair Kim asked if that would need to get done before further action. Mr. Sickler stated the building is not being approved, only the setback applicable to the buildings.

Comm. Guisinger asked staff if the buildings will be evaluated by the Town engineering department before the permits are pulled. Mr. Watson said yes. Comm. Guisinger asked if there will be an on-site assessment done by Town engineering. Mr. Brown stated that there will be a review of the building plan submitted to the Building and Palm Beach County Fire Department, and will go on site if necessary.

Comm. Vinson asked if the storage containers are permanent. Mr. Ciciera stated that the blue building is permanent and the beige building is temporary. Comm. Vinson asked about the building in between the blue railroad car and the first white building. Mr. Ciciera stated all buildings will meet the setback, and that it was not out there when he was there. Mr. Levine confirmed that the beige container is a rental container for overflow and is temporary. Mr. Levine also stated that the one sandwiched in between

the white building and the shipping container is a Home Depot plastic A frame structure for the cleaning department. Comm. Vinson asked if the Home Depot shed will count as another building with setbacks. Mr. Watson stated that the Home Depot shed would be considered an accessory building. Comm. Vinson asked if the amount of structures allowed will be addressed. Mr. Ciciara stated that they are only asking for the three buildings and they can add a condition for the setback to apply for all buildings. Comm. Vinson asked staff if that is something that has to be addressed. Mr. Watson stated that it is written that way, so any setbacks are applicable to any accessory buildings on the site. If the commission wants to limit the amount of buildings, that would need to be a condition. Comm. Vinson asked about the logistics and if there needs to be permits for all buildings. Mr. Watson stated that anything that requires a permit will get a permit. Mr. Sickler stated that sheds less than 144 square feet are required a 15-foot side corner setback, that would be two feet closer than what they are asking for, unless there is a condition on the approval.

Comm. Cassatly asked if the blue storage shed is one of the buildings they are asking to be permitted. Mr. Ciciara confirmed.

Comm. Keenan asked if an accessory building is a term in the building code. Mr. Watson stated staff is looking at this from a zoning code perspective, and the definition is that it be ancillary to a primary use. Mr. Sickler stated that the site plan on the screen does not show the blue building

Chair Kirn asked town staff if the number of buildings is governed by Building or Planning and Zoning. Mr. Sickler stated that it depends on the circumstances, and we need to know the uses of each structure, so they can be classified appropriately. If there is functional use going on in the storage building, such as a work shop, it would be classified as a light industrial use and would be parked at a minimum of one space for every 500 square feet. If it is an office use it would be one space for every 250 square feet, and if it's strictly storage it would be one space per 1,000 square feet.

Comm. Vinson asked if there would be a reason to put this on hold until further clarification. Chair Kirn stated that the Town's building department is competent and will make sure it complies with code. Comm. Vinson stated she wants stipulations to move forward. Mr. Watson clarified that the administrative site plan process was paused once we discovered the setback issue, and has yet to go through the entire site planning process until the setback for the buildings is confirmed. Mr. Ciciara stated that they will commit to three accessory buildings, and any excess will be removed from the site.

Public Comment: None.

Deliberation by Commission:

Comm. Keenan stated though the amendment is to allow the change in the setback requirement, there are many more questions and issues popping up, and he will trust town staff to look into those issues.

Comm. Vinson agreed and stated, if the only thing being approved is the setback, the other issues could be worked out down the road.

Comm. Thompson agreed if it is simply the setback they are looking at, they will rely on the building staff to make sure that the other issues are followed thereafter.

Comm. Guisinger concurred with fellow commissioners and had no further questions.

Chair Kirn stated that he agrees with what was said, and maybe add the fence shielding, if possible with DOT.

Comm. Dunning stated that he supports everything, and would like to interject the language Mr. Watson touched on regarding the setback requirements.

Comm. Cassatly stated that the 17-foot setback is fine.

Comm. Kelso also agreed that the 17-foot setback is fine with the screening and/or landscaping along the backside, and is fine with a fourth building rather than having the equipment be an eye sore.

Comm. Blum conquered as well.

Motion: Comm. Cassatly moved to recommend approval of the requested amendment to the Small Scale Planned Unit Development (SSPUD) to allow for a setback reduction from 35 feet to 17 feet. This recommendation includes the conditions outlined by the staff, ensuring that it is limited to the buildings detailed in the plans located in the side corner yard up to the dumpster, and also incorporates fence screening and landscaping for screening, seconded by Comm. Guisinger. Motion passed unanimously, with a 7-0 vote.

3. **30 E Riverside Drive** - Variance request to Section 27-2626(b)(16) and Section 27-3084(4)(b) to encroach 2.6 ± feet into the required 7.5 feet rear setback area between a pool/deck area and dock, on a 0.34± acre property, located at 30 E. Riverside Drive. ***(PZ 25-6306) (Acting as the Zoning Board of Adjustments - Final Action)***

Disclosures: Comms. Blum and Guisinger drove through the area. Comm. Kelso looked at it on Google Earth. Comm. Cassatly paddle boarded through the area. Vice Chair Dunning visited the property twice, spoke with the owner's parents, and town staff. Chair Kirn spoke with town staff. Comm. Thompson drove by the site multiple times, but did not access property. Comm. Vinson drove by the site, driving over the bridge multiple times, and used Google Earth. Comm. Keenan had no disclosures.

Applicant presentation: Zach Ciciera, representative of Cotleur & Hearing presented a PowerPoint presentation of the proposed project. Donaldson Hearing of Cotleur & Hearing was in attendance, as well as Rob Mollet with Wells Brother's Construction.

Staff presentation: Planner, Jenna Johnston reviewed the staff report.

Commissioners asked questions of the Applicant and Staff:

Comm. Keenan wanted confirmation that 4 of the 7 criteria have not been met. Ms. Johnston confirmed, stating one is not applicable. Comm. Keenan asked

why it is not applicable. Ms. Johnston stated there are no special conditions or circumstances in this case. Comm. Keenan asked for a ranking of most important, yet unsatisfied. Mr. Watson stated that typically the highest order would be deferring to the comp plan policies, intent being a close second to that and then the remainder.

Comm. Vinson inquired about the planting of the mangroves. Mr. Watson stated that there is a percentage of mangroves on site in the north and south ends of the property, and that a plan would be required if this was approved. Comm. Vinson inquired about the position of the boat dockage, and wanted confirmation that the positioning isn't the problem, but the connection from the patio deck to the dock and not having an open space for filtration of water. Mr. Hearing stated that is not exactly correct, that the open space between the deck and the docks meets the requirement of the code, which is the intent of a 7.5-foot green space. Mr. Hearing also stated that the connection between the deck and the dock is only 4 feet wide, meeting the code requirement. The request is for the marginal dock to encroach into the rear setback up to 2' landward, while maintaining the intent of the Code which is the provision of 7.5' feet of open space. Comm. Vinson asked why they did not go back to the original designed pre-approved in 2022. Mr. Hearing stated what was approved in 2022 had the marginal deck 100% parallel and on top of the seawall cap, and all he is asking is for the marginal dock to be parallel to the house.

Comm. Thompson stated that he is optimistic that half of the criteria has been met, and is halfway there, but some work needs to be done still.

Comm. Guisinger asked if the dock is permitted to be placed on the top of the seawall as it is currently placed. Mr. Watson stated no, it does not comply with the permit exactly in its shape and was permitted directly parallel to the seawall. The decking only encroached to the area over the cap, but it did not go past the cap or landward. Comm. Guisinger asked if the way it is currently positioned requires that it encroaches into the 7.5 feet, from the seawall. Mr. Watson confirmed that is correct. Comm. Guisinger asked if the permitted dock itself requires a variance. Mr. Watson stated no; the only portions of the proposed design requiring the variance are those red triangular areas on the plan that encroach past the seawall cap. Comm. Guisinger asked how to address that. Mr. Watson stated that they will have to get a revision to that permit, and also get revisions to the deck permit and all those other unpermitted elements. Comm. Guisinger asked staff if Section 27 requires additional clarification to minimize misinterpretation of the code with respect to either dock placement or encroachment onto the setback. Mr. Sickler stated that the triangles that are shown, based on the definition of the code are patio since they are not over water, they are not a dock. Comm. Guisinger asked if Section 27 adequately addresses it from a code standpoint. Mr. Sickler explained there are provisions where staff has some flexibility for interpretation and others where hands are tied. When the staff reviewed the dock permit they felt it was beneficial for the other property to the north to not have the T or L shaped dock that extended the dock facility/boat, potentially impeding access to that property. They were allowed to reconfigure what is typically required as a T or L dock to be put in marginal configuration. For the code, a marginal dock is applicable to canals but they used the flexibility to apply it to the dock permit.

Vice Chair Dunning asked the applicant why they can't follow the staff's criteria. Mr. Hearing stated that the issue of the 7.5 feet of green space is being met. The deck setback is right, the walk through the deck is right, and now the only issue is the definition of what a marginal dock can be. Comm. Dunning asked staff if the same set of standards are used for everyone. Mr. Sickler confirmed. Comm. Dunning stated that this is not a good precedence to be set, if approved. Mr. Hearing stated he believes in this particular case, being on a peninsula, in an unusual shaped area doing a marginal wharf, they are meeting not only the intent of the Comprehensive Plan but also the intent of the code. The challenge being they are dealing with a variance.

Comm. Cassatly asked if there is a different code now with it being 6 feet versus 7.5 feet. Mr. Sickler explained that was because it was permitted and measured from the actual property line. The proposed deck area around the pool would be set back more than it needs to be in most areas in order to provide for the 7.5' of open area. Comm. Cassatly asked how the deck going straight out to the marginal dock was discovered. Mr. Watson stated that the Natural Resources staff was called in for an inspection. Comm. Cassatly asked if this was a spontaneous inspection. Mr. Watson stated that the permit was approved, the next step is construction, then they'll call in for a final inspection before the permits close. It was at that point the staff discovered that the rest of the site had been decked as it shows up on the aerial. It was not finalized and is still on hold, if it has not already expired at this point.

Comm. Kelso inquired about the area over the bulkhead and if that section can be removed, or if there is a width standard that would preclude that and require the whole dock to be moved out. Mr. Watson stated that it is not the section that's over the physical bulkhead, it's the section that's landward of the edge of the bulkhead. Comm. Kelso asked about the section in question, that is not according to the standards and if that area could be taken off. Mr. Watson stated that's what was permitted. Comm. Kelso asked if the deck itself would then be narrower, and if there are any regulations that would preclude that from happening. Mr. Watson stated that there is not a minimum width requirement, only a maximum. Comm. Kelso asked for clarification on condition 2B. Mr. Watson stated that is plantings within the 7.5-foot zone, and the idea behind that is that the zone was created in order to provide a setback for drainage purposes and softening the waterfront, ensuring the proposed design would meet the intent of the Code. Comm. Kelso inquired about native trees and if that would not block their view of the property. Mr. Sickler stated those could be small trees or palm trees and would not have to be large canopy trees or anything of that nature. Mr. Ciciara stated that was a consideration that they made staff aware of. Comm. Kelso asked the applicant if there was a construction progress report provided by the contractor to the owner. Mr. Ciciara confirmed that they did receive the reports, with the issue being the owners not being aware of the code regulations. Comm. Kelso stated as the owner, there should have been some due diligence realizing that's not what was permitted. Mr. Ciciara agreed with the comment, and that he does not believe they were researching and analyzing too heavily while they were traveling.

Comm. Blum asked when this was discovered. Mr. Watson stated that the

inspection took place in late 2022. Comm. Blum wanted confirmation that it's been 2.5 years, and it is being dealt with now. Mr. Watson stated yes. Mr. Mollet took the stand and explained some history and issues with the house from the previous contractor.

Comm. Kelso asked staff if she were to want all the conditions, and also make a condition that they were to move that part of the dock that is not in compliance, that she would need to vote against it. Mr. Sickler stated that they would not need a variance if they removed those triangles and moved it waterward.

Comm. Guisinger inquired about the condition with the native trees and hedges in the transitional buffer upland, and if that applies to the area in front of the pool also. Mr. Sickler confirmed, as written, it would be the entire area.

Mr. Baird stated the focus on the decision should be whether or not these 7 criteria have all been met, clarifying that criteria #2 would need to be satisfied as well. Mr. Baird also mentioned that courts do not have a hierarchy of criteria. To the extent that there is a criterion that courts focus on, it would be #3, which is the literal interpretation and whether, without the variance, they would be depriving the applicant of a reasonable use of land.

Public Comment: None

Deliberation by Commission:

Comm. Blum had nothing more to add and was not in support.

Comm. Kelso stated that she does not feel like they've met all 7 criteria and was not in support.

Comm. Cassatly stated he was concerned with the aesthetics, landscaping, and safety and is not in support.

Comm. Dunning stated the criteria has not been met and he is not in support.

Comm. Guisinger stated that he does not believe the 7 criteria have been met nor the permit for the docks and is not in support.

Comm. Thompson stated they have not met the criteria and are not even halfway there when taking account what Mr. Baird stated reiterating that the second criteria does apply.

Comm. Vinson stated that she agrees that all 7 criteria have not been met and is not in support.

Comm. Keenan stated that the 7 criteria have not been met, and a variance is not a solution to a problem brought on by the property owner, therefore does not support.

Motion: Vice Chair Dunning moved to deny the Variance request and adopt the findings and recommendations outlined in the staff report, seconded by Comm. Thompson. Motion passed, with a 7-0 vote.

STAFF UPDATE: Planning and Zoning Director report on recent Town Council actions on Commission items.

Chair Kirn announced this would be Vice Chair Dunning’s last meeting and gave thanks and recognition.

ADJOURN: Chair Kevin Kirn adjourned the meeting at 8:58 p.m.

Kevin Kirn, Chair

Dennis DePalma, Secretary

**TOWN OF JUPITER STAFF REPORT FOR JUPITER COMMUNITY PARK (JCP)
UTILITY BUILDING SITE PLAN
TOWN MANAGER'S OFFICE**



DATE: May 6, 2025
TO: Honorable Mayor and Members of Town Council
THRU: Frank Kitzerow, Town Manager
FROM: John Sickler, Director of Planning and Zoning
SUBJECT: Jupiter Community Park (JCP) Utility Building – Site Plan application to construct a one-story electrical/generator building with park restrooms located at 1201 Island Way.

JS

Res. #52-25
PZ 24-6273
J. Johnston

P&Z Commission: 05/13/25
Town Council: 06/17/25 (quasi-judicial)

Project Information

Project Name: Jupiter Community Park (JCP) Utility Building
Owner/Applicant: Town of Jupiter
Agent: Kimley-Horn and Associates
Location: 1201 Island Way (south parcels of Jupiter Community Park along Church Street now known as Edna Runner Way)
Property Area (Project Boundary): 7.69 ± acres
Future Land use designation: Recreation
Zoning: Public/Institutional (PI)
Existing uses: Community Park Open Space and Well site
Proposed uses: Electrical/Generator Building with Park Restrooms
Request: A Site Plan to construct a one-story, 2,526 square-foot building to serve as an electrical/generator room, park restrooms and park storage, providing power to the building and the Town's raw water supply wells, restrooms, and storage (see Attachment A).

Staff Compliance Review Summary

Staff reviewed the applicant's request (see Attachment A – Statement of Use) and determined the application will be in compliance with the Town Code, subject to the conditions of approval recommended in **Exhibit 1**.

Project Data

Pertinent site plan data and information in reference to the application is listed below. All data is based on the property area (project boundary) as depicted on the Site Plan:

Table 1: Adjacent Properties

Direction	Existing Land Uses	Future Land Use Zoning Districts
North	Park (Jupiter Community Park)	Recreation / Public/Institutional (PI)
South	Preserve (Washington Street Preserve)	Conservation / Conservation Preservation (CP)
East	Palm Beach County Single-Family Residential / Day Care (Edna Runner)	Palm Beach County Medium Residential, 5 Units per Acre / Single Family Residential (RS)
West	Single-Family Residential (Rialto)	Low Density Residential / Rural Residence (RR)

Table 2: Site Plan

	Public/Institutional (PI) District requirements	Owner's proposal ¹
Minimum width	100 feet	679 feet
Minimum site depth	100 feet	265 feet
Minimum front (West) setback	50 feet	537.2 feet
Minimum rear (East) setback	15 feet	679 feet
Minimum interior (South) side corner setback	25 feet (per structure)	37.3 feet
Minimum interior (North) side setback	15 feet (per structure)	140.4 feet
Maximum building height	50 feet	19.1 feet
Maximum lot coverage	40 percent	0.75 percent
Minimum green space	30 percent	97.55 percent

Table 3: Landscaping

	Minimum requirements	Owner's proposal
Perimeter trees (quantity)	9 Trees (1/25 LF)	5 Trees & 12 palms
Foundation Perimeter Planting (Linear Feet)	84 LF	84 LF
Foundation Planting (square feet)	336 SF	336 SF
Native trees, shrubs, and groundcovers	50%	100%

Table 4: Parking

Parking requirements	Required	Provided
Electrical Building	1	2
Handicapped parking spaces	1	1
Total parking spaces	2	3

Table 5: Stormwater Management

Drainage Statement	Applicant's proposal
Satisfies Town of Jupiter Requirements	Yes

Background and History

The subject project area is the southern 7.69± acre area within the 103± acre Jupiter Community Park. This area includes part of the park's open space and a Town well site, which is generally at the western terminus of Edna Runner Way (f/k/a Church Street). The proposed 2,526 square-foot electrical/generator building will provide primary and back-up power to the Town's raw water supply wells located north of Indiantown Road. The building will also provide public restrooms for park patrons and a 513 square foot storage room for park staff.

The park received site plan approval for 94-acres in 1989. Since that time, the Town has purchased four additional parcels, resulting in the park totaling approximately 103 acres. These

¹ Proposed in 7.69 ± acre property area (project boundary) as noted on the Site Plan

parcels have not gone through a Unity of Title or replat process and a site plan has not been submitted to amend the park’s original approval to incorporate them.

Analysis

This section analyzes the land development regulations and notes the application’s inability or ability to satisfy all applicable development provisions of the Town Code and Comprehensive Land Use Plan (CLUP). The analysis is as follows:

Comprehensive Land Use Plan (CLUP) Consistency. The proposed development is consistent with the Comprehensive Plan. This proposed facility supports well sites, as well as provides public restrooms and storage in service of the existing park. It is important to note Policy 4.1.3 of the Transportation Element of the Town’s Comprehensive Plan states that “the Town shall protect the Limestone Creek neighborhood and discourage any connection of Church Street to Island Way.”

Site Plan. The proposed site plan is in conformance with the requirements of Chapter 27, entitled “Zoning”, subject to meeting the staff recommended conditions. The proposed electrical/generator building will provide primary and back-up power to the Town’s raw water supply wells located north of Indiantown Road. It will also provide a men’s and women’s restroom for use by park visitors and additional storage for park staff. The proposed design provides a mulch pedestrian path connecting park amenities to the restrooms and trash cans for park patrons. The building is compatible with the character of existing buildings within the park, and designed consistent with their mass, height, and architectural language.

As discussed, the park is comprised of five parcels that have not been unified as part of the park’s expansion. Staff recommends a condition of approval **requiring the five parcels be unified as part of the park property**. A Master Plan update is underway by the Parks and Recreation Department, which can incorporate these changes.

Parking. The proposed development is in conformance with Chapter 27, Article XI, Division 32, entitled “Parking Regulations”. The Town Code does not provide a minimum number of parking spaces for an electrical/generator building. Pursuant to Section 27-2828(Table1), for uses not listed the number of spaces is to be determined by the Director of Planning and Zoning or in the case of a major site plan review, the Town Council. The agent conducted a parking needs analysis of the proposed use and identified a maximum parking demand of one standard space as well as one ADA space. Based on Staff’s review of other well sites around Town, the provided parking is adequate. Staff is deferring the decision on the number of parking spaces to the Town Council, as is typical with public hearing items.

It is important to note that parking is not commonly provided at well sites and maintenance areas. Typically, well sites and maintenance areas utilize flexible open parking areas which allow for maintenance personal to park close to the facilities. While not typical, the applicant has formalized parking with a total of three spaces, one standard space more than what was determined necessary from the parking demand study.

Landscaping. The proposed development is in conformance with Chapter 23, entitled, “Landscaping”. Landscaping has been proposed around the perimeter of the electrical/generator building and within a 10’ wide landscape buffer along the access road. The selected plant materials are consistent with the plant types found in the park and surrounding area.

As part of the function of the electrical/generator building, a silencer is located on the exterior of the building facing the access road. The applicant provided a 10’ landscape buffer along the

southern portion of the project area to screen the equipment from the right of way, which could become street frontage. Per Section 23-74, all mechanical and electrical equipment shall be screened from public view. To accommodate the potential road extension, the landscape buffer was designed to screen the silencer.

Architecture. The proposed development is in conformance with Chapter 27, Article 11, Division 5, entitled, “Architectural and Community Appearance Standards”. The proposed building matches the style, materials, and colors of the existing buildings in the park.

Traffic. The proposed application is in conformance with the Town’s traffic performance standards (see Attachment B). Due to the use generating an insignificant number of trips, the Town’s Traffic Engineer agreed it did not need Palm Beach County Traffic review.

Site Plan Criteria.

Section 27-175, contains minimum criteria for review of all site plan applications processed. Upon review of the 12 criteria in Section 27-175, staff finds that the Applicant has met 12 of the 12 criteria.

The proposed electrical/generator building is consistent with the Comprehensive Plan and Town Code and has been designed to be compatible with the character of the existing park buildings and landscape. The proposed electrical/generator building has been designed to meet the needs of both the wellfield site as well as the park patrons and staff, maximizing the remainder of the property for public access and park use.

Attachments:

Exhibit 1 – Recommended Conditions of Approval

Attachment A – Statement of Use

Attachment B – Traffic Impact Statement

* Please contact Jenna Johnston at jennaj@jupiter.fl.us or 561-741-2589 in order to obtain a copy of the proposed plans or any attachments.

File Path: V:\PlanningZoning\Staff\WP51\Signature - P&Z\2025\May 13, 2025 PZC\Jupiter Community Park Utility Building (Jenna)\2025.5.13 PZ Staff Report.docx May 6, 2025

Conditions of Approval

The recommendation for approval is subject to the following conditions:

- 1) The Owner shall install and maintain all improvements in compliance with the following:
 - a) Site Plan and details, prepared by Kimley Horn, referenced as "Sheet C1", dated 05/05/25, received and dated by the Department of Planning and Zoning on 05/06/25.
 - b) Landscape Plan and details, prepared by Kimley Horn, referenced as "Sheet L1", dated 05/05/25, received and dated by the Department of Planning and Zoning on 05/06/25.
 - c) Elevations prepared by Song & Associates, referenced as "Sheets A-501 and A-502", received and dated by the Department of Planning and Zoning on 05/06/25.
 - d) Civil Plans prepared by Kimley Horn, referenced as "Sheets G-1, C-1, C-2, C-3, C-6, and C-7", dated 05/05/25, received and dated by the Department of Planning and Zoning on 05/06/25.
 - e) Statement of Use, prepared by Kimley Horn, dated 03/03/25, received and dated by the Department of Planning and Zoning on 03/04/25.
 - f) Traffic Statement, prepared by Kimley Horn, dated 12/11/24, received and dated by the Department of Planning and Zoning on 12/11/24.
- 2) The uses conducted on the subject property shall be consistent with the Statement of Use, dated 03/03/25, received by the Department of Planning and Zoning on 03/04/25.
- 3) Any revisions to the site plan, Statement of Use, or other details submitted as part of the Application, including but not limited to the location of the proposed improvements or additional, revised or deleted colors, materials, or structures, or changes to how the use operates, shall be submitted to the Department of Planning and Zoning (the Department) and shall be subject to its review and approval.
- 4) **Site plan.** Upon the submission of the final plans, the Applicant shall unify the five parcels that make up what is known as Jupiter Community Park, which shall be subject to review and approval of the Town Engineer.
- 5) **Miscellaneous.** The placement of any type of vending machines or units which dispense food, beverages, candy, merchandise, products, goods, handbills, or advertising magazines on the exterior portions of the subject property within public view, is prohibited.
- 6) The conditions of approval herein shall apply to the Owner and its successors and assigns.



Statement of Use

Date: March 3, 2025
 Project: Town of Jupiter / Island Way Electrical Building
 Location: 3377 Church Street, Jupiter, FL 33458

Introduction

On behalf of the Town of Jupiter, the applicant, we are requesting approval for construction of an approximately 2,526 gross square foot building to serve as an electrical room and generator room that will provide primary and back-up power to the Town's raw water supply wells located north of Indiantown Road. The building also includes a men's and women's restroom for future use by visitors of Jupiter Community Park and a 513sf storage room/garage for park staff.

Project Contact:

Kimley-Horn and Associates, Inc.
 Jason Lee, P.E.
 1920 Wekiva Way, Suite 200
 West Palm Beach, FL 33411
 Phone: 561-840-0256
 Email: jason.lee@kimley-horn.com

Project Description

The subject site has a current zoning of PI – Public/Institutional District. The proposed construction is in conformance with the zoning district requirements and is consistent with adjacent buildings and uses.

The FIRM maps have consistently listed this site as Flood Zone X which is outside the 500-year flood. The local drainage design described in the original SFWMD remains valid.

The site area proposed for construction incorporates a portion of the Jupiter Community Park that currently exists as open space at the south side of the park.

The proposed construction includes a one-story building of approximately 2,526 gross square feet. The facility will contain the following spaces and uses:

Ground Floor

- Generator Room
- Electrical Room
- Storage Room with Garage Door
- Male and female restrooms

Parking

Kimley Horn conducted a parking needs analysis of the proposed electrical building. The analysis identified a maximum parking demand of 1 space to serve the electrical building. The analysis also identified that 1 ADA parking space is required for the electrical building.

Parking throughout the phases of construction will be provided as follows:

	Required Parking	Provided Parking	Required ADA Parking	Provided ADA Parking
Electrical Building	1	3 (total including ADA parking)	1	1

Site Elements

Vehicular + Pedestrian Circulation

The design provides easy access to existing parking on the east side of the Electrical Building. Pedestrian access will be provided by sidewalks along the north, east and south sides of the Electrical Building.

Landscaping

Landscaping will be provided around the perimeter of the Electrical Building and includes a 10’ wide landscape buffer along the south side of the project area which fronts the Church Street right-of-way. Plant material has been selected to match the existing landscaping used around the Jupiter Community Park. Irrigation for proposed plantings will be provided by a proposed well and pump.

Architecture

The architectural character and design align with the existing JTAA Building located on the north side of the JCP soccer fields. The vernacular includes a hip roof with asphalt shingles and load bearing concrete masonry walls with a stucco finish. The colors of the building are proposed to be nearly identical to the JTAA Building and will maintain a neutral palette.

Site Plan Criteria

The proposed building is compatible with the character of the existing buildings with the Jupiter Community Park. The building is designed to provide an adequate and accessible electrical building and generator room to provide both primary and back-up power to the Town’s raw water supply wells. The electrical building will not be staffed with only occasional trips to the site for maintenance purposes. The building was designed consistent with the mass, height and architectural language of the existing buildings with Jupiter Community Park.

Traffic

A traffic study conducted in accordance with the Countywide Traffic Performance Standards Ordinance of Palm Beach County and dated May 14, 2024 has been included with the submittal.

Waivers

No waivers are requested at this time.

Conclusion

The Applicant looks forward to working with Staff to respond to any questions or issues that might arise from your review.

K:\WPB_Civil\044001261 Island Way Wells\Permit\Site Plan\2025.02.27 - Resubmittal\Working\2025.03.03_Island Way Electrical Building and Restrooms - Statement of Use.docx



December 11, 2024

Amanda Barnes, P.E.
Assistant Director of Utilities, Town of Jupiter
210 Military Trail
Jupiter, FL. 33458

**RE: *Town of Jupiter Electrical Building
Traffic Assessment
Church Street Jupiter, Florida***

Kimley-Horn and Associates, Inc. was retained to prepare a traffic impact statement for the proposed electrical building at the Island Way Wellheads site. The site is located on the north side of Church Street, just west of Washington Street, in the Town of Jupiter, Florida. The proposed electrical building will serve the Town of Jupiter Utilities northern wellfield which will be located in the southern half of the Jupiter Community Park. The electrical building will not have any employees located at the site.

Although the *Institute of Transportation Engineers (ITE)* does not publish trip generation data for electrical buildings, trip generation rates for similar facilities are generally based on building square footage or the number of facility employees. Although the proposed training facility will increase the building square footage of the site, it is intended to serve the existing Town employees; Hence, no additional trips are to be proposed as part of this project and the proposed training facility will not impact the surrounding roadway network.

The foregoing analysis demonstrates that the proposed electrical building addition to the existing Island Way Wellheads site will not impact the surrounding roadway network. Should you have any questions regarding this statement please contact me at (561) 840-0852 or Stephanie.Guerra@kimley-horn.com

Sincerely,

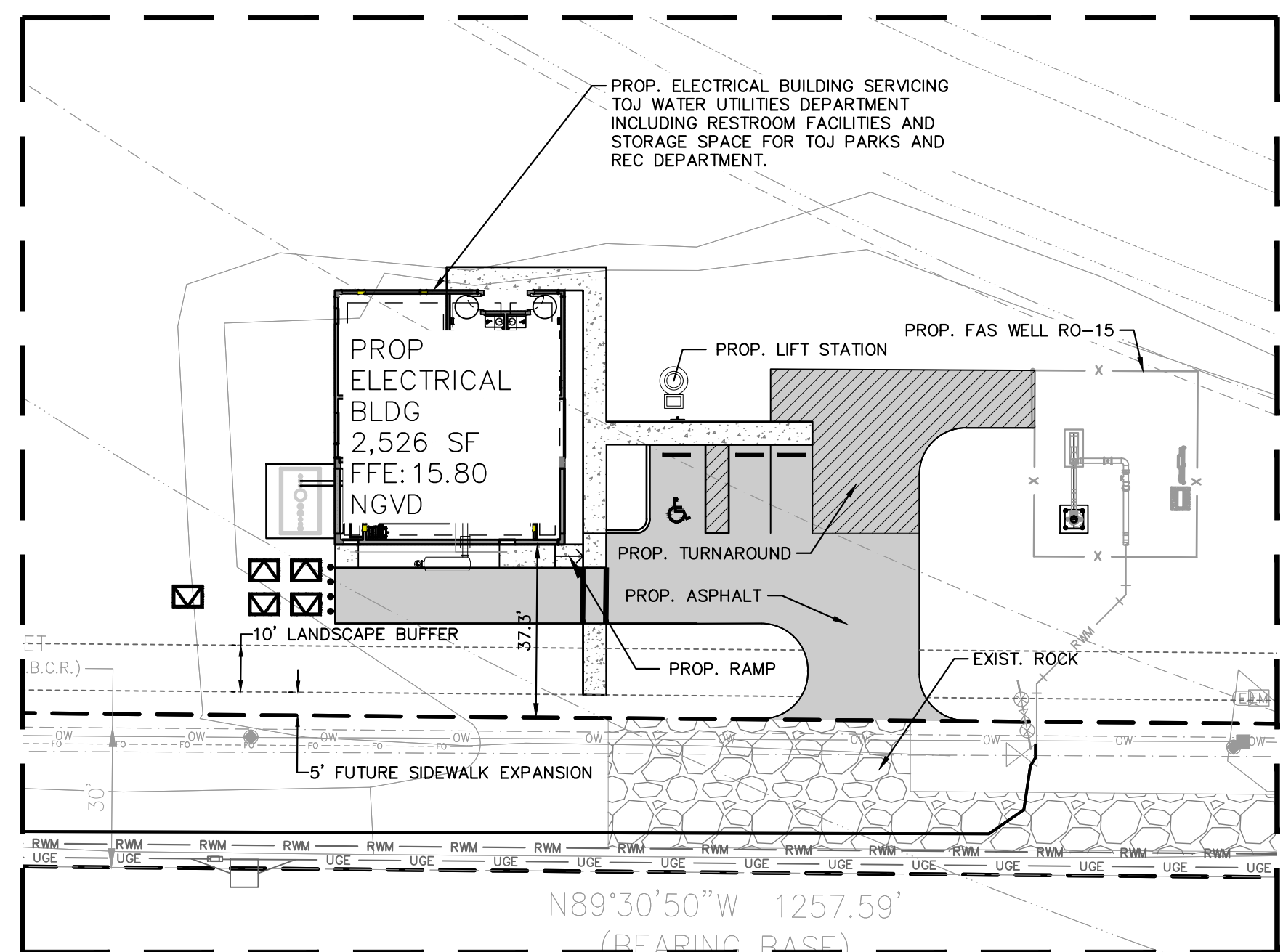
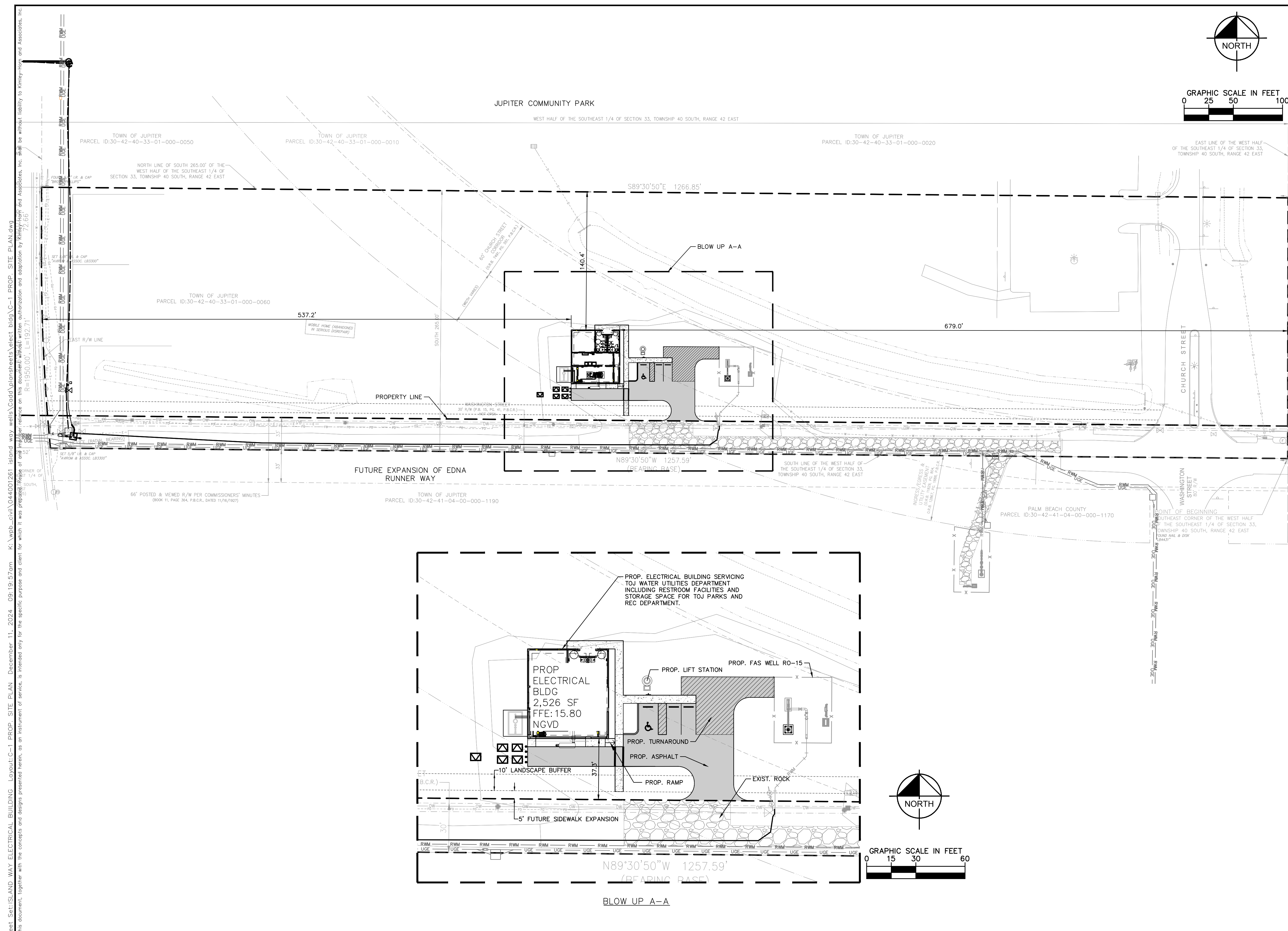
KIMLEY-HORN AND ASSOCIATES, INC.



Stephanie A Guerra
2024.12.11
10:12:03 -05'00'

Stephanie A. Guerra, P.E.
Transportation Engineer

Florida Registration
Number 84302
Registry No. 35106



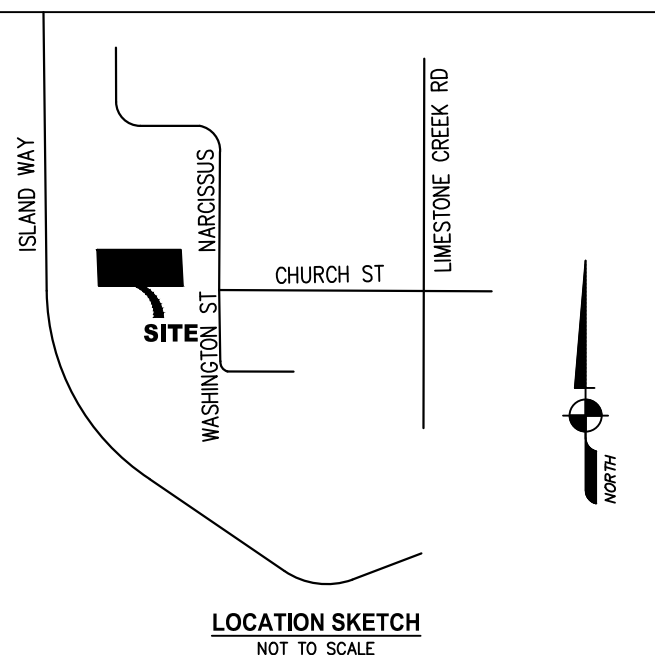
NAME OF PROJECT:	ISLAND WAY WELLS ELECTRICAL BUILDING
PROJECT NO.:	22017
PROPOSED USES:	RECREATION
FUTURE LAND USE DESIGNATION:	RECREATION
ZONING DISTRICT:	PI - PUBLIC/INSTITUTIONAL
SECTION/TOWNSHIP/RANGE:	33/40/42E
PROPERTY CONTROL NO.:	30-42-40-33-01-000-0010
PROPERTY AREA (PROJECT BOUNDARY):	7.69 ACRES/ 335,140 GSF
LEGAL DESCRIPTION:	TROWELL PARK N 536.66 FT OF SLY 1165.94 FT OF WLY 1327.11 FT OF PL IN OR16455P609 (LESS W 60 FT ISLAND WAY R/W)
GROSS FLOOR AREA PER BUILDINGS	
NEW ELECTRICAL BUILDING	2,526 FP 2,526 GSF
TOTAL	2,526 FP 2,526 GSF
FLOOR AREA RATIO (FAR)	PROPOSED: 2,526/335,140 GSF = 0.0075
BUILDING COVERAGE (40% MAX.)	PROPOSED: 2,526/335,140 GSF = 0.75%
GREEN SPACE (30% MIN.)	PROPOSED: 326,945/335,140 GSF = 97.55%

ISLAND WAY WELLS ELECTRICAL BUILDING:	REQUIRED	PROVIDED
FRONT (EAST)	50'	679'
REAR (WEST)	15'	537.2'
SIDE (NORTH)	15'	140.4'
SIDE (SOUTH)	25'	37.3'

REQUIRED PARKING FOR ELECTRICAL BUILDING	SPACES
NEW ELECTRICAL BUILDING	1
TOTAL SITE PARKING REQUIRED	1

EXISTING STANDARD SPACES	SPACES
EXISTING ADA SPACES	0
NEW ELECTRICAL BUILDING SPACES PROVIDED	2
NEW ELECTRICAL BUILDING ADA SPACES PROVIDED	1
TOTAL SITE PARKING PROVIDED (INCLUDING ADA SPOTS)	3

ADA PARKING	SPACES
TOTAL REQUIRED ADA SPACES	1
EXISTING ADA SITE PARKING	0
PROPOSED ELECTRICAL BUILDING ADA SITE PARKING	1
TOTAL ADA SITE PARKING	1



PLANS ARE IN NGVD 1929 DATUM
CONVERSION EQUATION IS BELOW:
(NGVD 1929) - 1.496' = (NAVD 1988)

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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

No.	REVISIONS	DATE	BY

Kimley»Horn

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1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	044001261
DATE	DEC 2024
SCALE	AS SHOWN
DESIGNED BY	SS
DRAWN BY	SS
CHECKED BY	JRL

ISLAND WAY ELECTRICAL BUILDING

PREPARED FOR
TOWN OF JUPITER

TOWN OF JUPITER FLORIDA

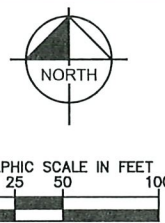
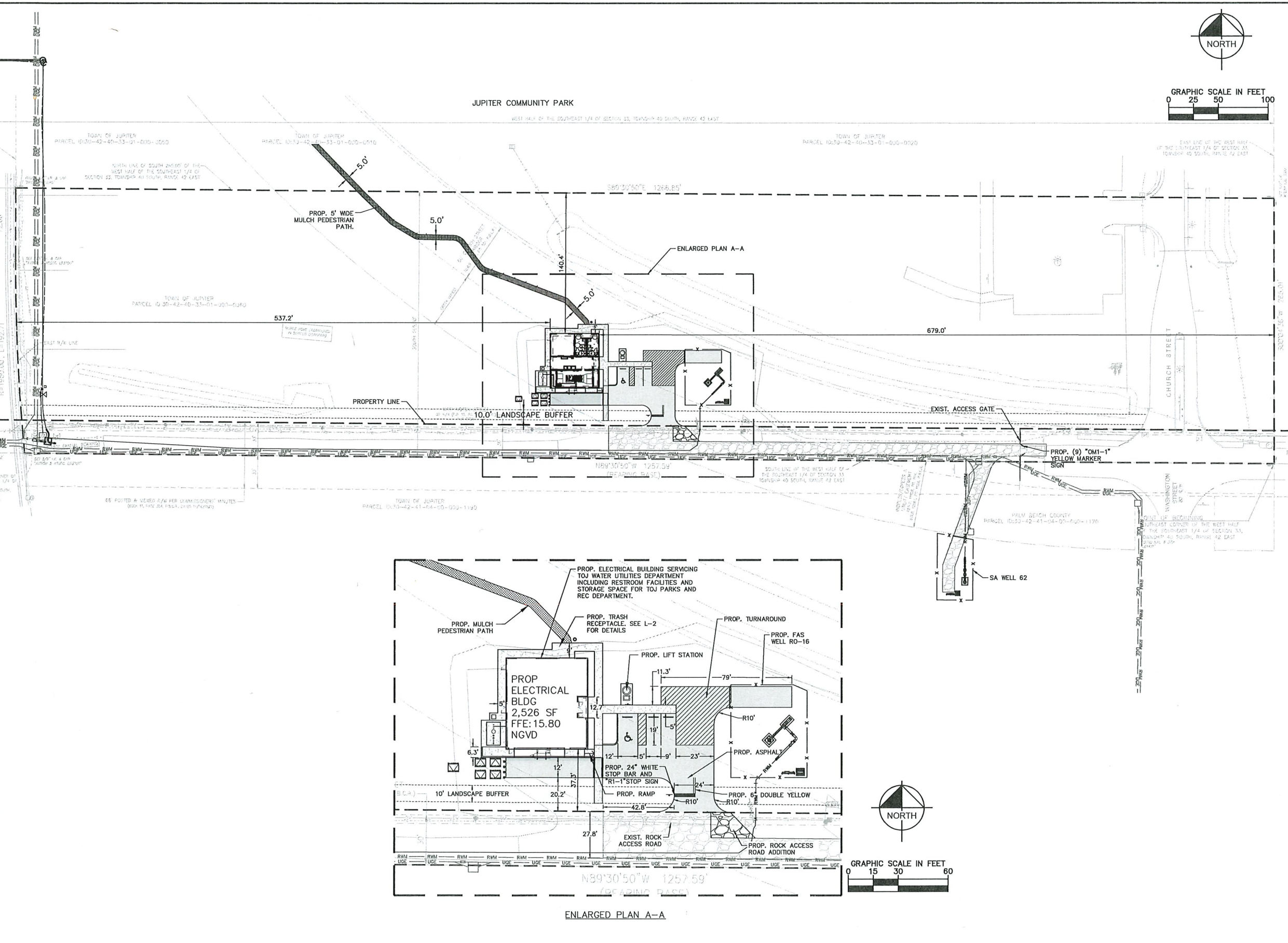
LICENSED PROFESSIONAL
JASON R. LEE, P.E.
FLORIDA LICENSE NUMBER
67472
DATE:
12/11/24

PROP. SITE PLAN

SHEET NUMBER

Plotted By: L. Lopez, Marianna Sheet Set: ISLAND WAY ELECTRICAL BUILDING - Layout: C-1 PROP. SITE PLAN December 11, 2024 09:19:57am K:\wpb_civil\044001261_Island_Way_Wells_Electrical_Building_C-1_PROP_SITE_PLAN.dwg
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SITE DATA

NAME OF PROJECT:	ISLAND WAY WELLS ELECTRICAL BUILDING
PROJECT NO.:	22017
PROPOSED USES:	RECREATION
FUTURE LAND USE DESIGNATION:	RECREATION
ZONING DISTRICT:	PI - PUBLIC/INSTITUTIONAL
SECTION/TOWNSHIP/RANGE:	33/40/42E
PROPERTY CONTROL NO.:	30-42-40-33-01-000-0010
PROPERTY AREA (PROJECT BOUNDARY):	7.69 ACRES/ 335,140 GSF
LEGAL DESCRIPTION:	TROWELL PARK N 536.66 FT OF SLY 1165.94 FT OF WLY 1327.11 FT OF PL IN OR1645SP609 (LESS W 60 FT ISLAND WAY R/W)
GROSS FLOOR AREA PER BUILDINGS	
NEW ELECTRICAL BUILDING	2,526 SF 2,526 GSF
TOTAL	2,526 SF 2,526 GSF
FLOOR AREA RATIO (FAR)	PROPOSED: 2,526/335,140 GSF = 0.0075
BUILDING COVERAGE (40% MAX.)	PROPOSED: 2,526/335,140 GSF = 0.75%
GREEN SPACE (30% MIN.)	PROPOSED: 326,668/335,140 GSF = 97.47%

SETBACKS

ISLAND WAY WELLS ELECTRICAL BUILDING:	REQUIRED	PROVIDED
FRONT (EAST)	50'	679'
REAR (WEST)	15'	537.2'
SIDE (NORTH)	15'	140.4'
SIDE (SOUTH)	25'	37.3'

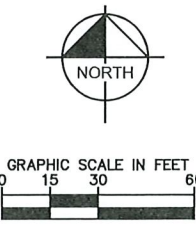
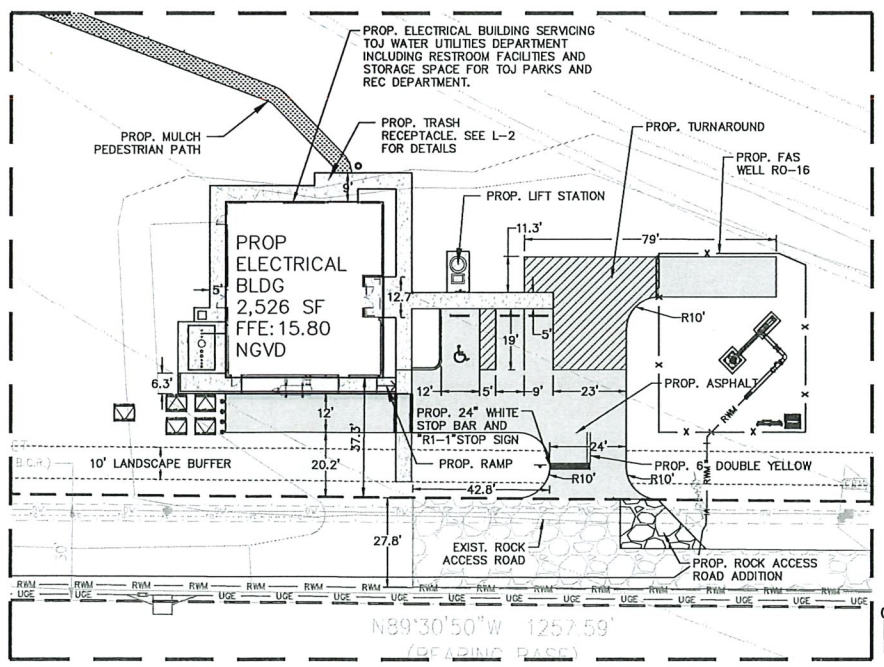
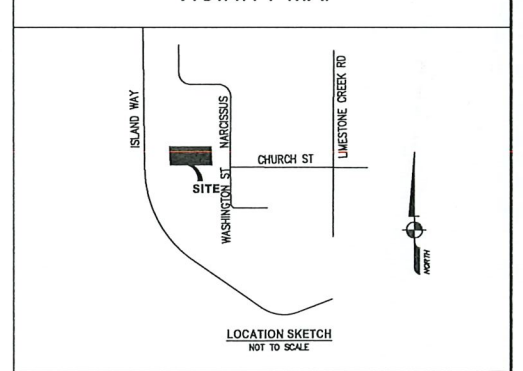
PARKING REQUIREMENTS

	SPACES
REQUIRED PARKING FOR ELECTRICAL BUILDING	
NEW ELECTRICAL BUILDING	1
TOTAL SITE PARKING REQUIRED	1

PARKING PROVIDED

	SPACES
EXISTING STANDARD SPACES	0
EXISTING ADA SPACES	0
NEW ELECTRICAL BUILDING SPACES PROVIDED	2
NEW ELECTRICAL BUILDING ADA SPACES PROVIDED	1
TOTAL SITE PARKING PROVIDED (INCLUDING ADA SPOTS)	3
ADA PARKING	
TOTAL REQUIRED ADA SPACES	1
EXISTING ADA SITE PARKING	0
PROPOSED ELECTRICAL BUILDING ADA SITE PARKING	1
TOTAL ADA SITE PARKING	1

VICINITY MAP



PLANS ARE IN NGVD 1929 DATUM
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No.	REVISIONS	DATE	BY

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 PHONE: 561-845-0665 FAX: 561-863-8175
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	044001261
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	SS
DRAWN BY	SS
CHECKED BY	JRL

ISLAND WAY ELECTRICAL BUILDING

PREPARED FOR
TOWN OF JUPITER

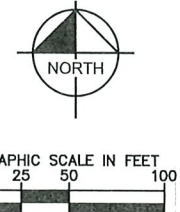
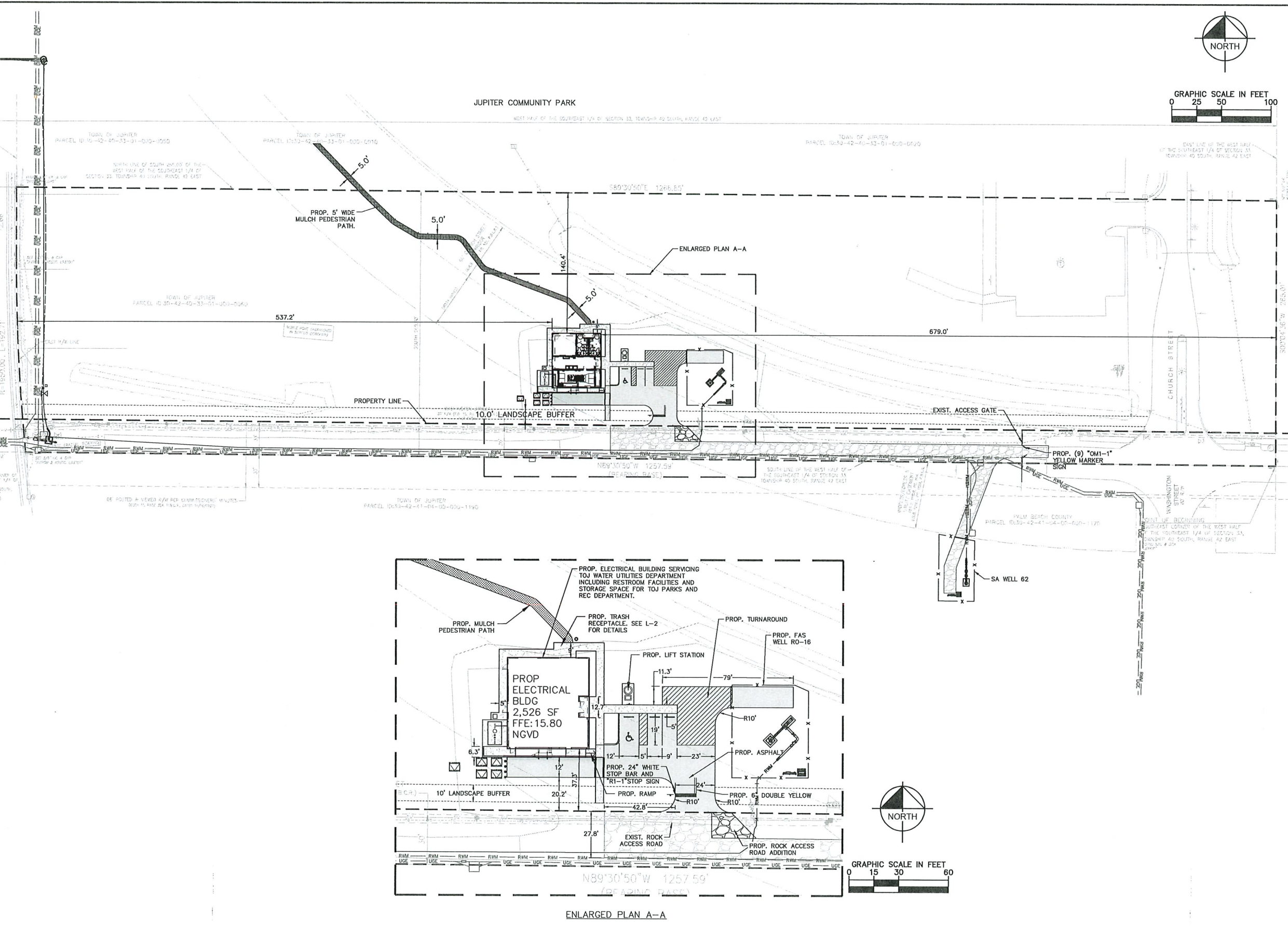
TOWN OF JUPITER FLORIDA

LICENSED PROFESSIONAL	JASON R. LEE, P.E.
FLORIDA LICENSE NUMBER	67472
DATE:	5/5/25

SITE PLAN

SHEET NUMBER
C-1

Plotted By: Russo, Nicki
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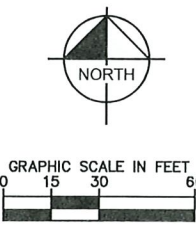
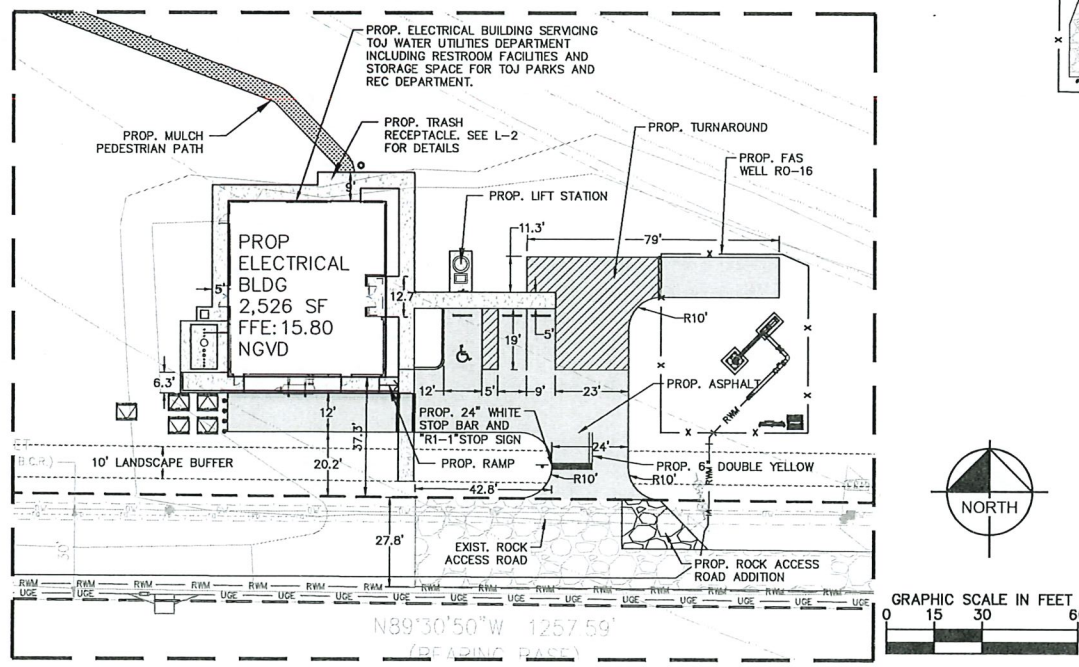
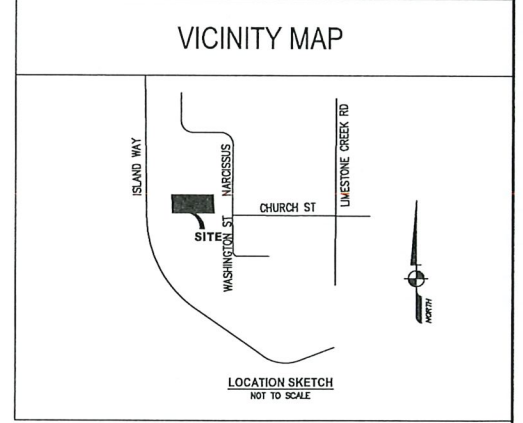


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SIDE (SOUTH)	25'	37.3'

PARKING REQUIREMENTS	
REQUIRED PARKING FOR ELECTRICAL BUILDING	SPACES
NEW ELECTRICAL BUILDING	1
TOTAL SITE PARKING REQUIRED	1

PARKING PROVIDED	
EXISTING STANDARD SPACES	0
EXISTING ADA SPACES	0
NEW ELECTRICAL BUILDING SPACES PROVIDED	2
NEW ELECTRICAL BUILDING ADA SPACES PROVIDED	1
TOTAL SITE PARKING PROVIDED (INCLUDING ADA SPOTS)	3
ADA PARKING	
TOTAL REQUIRED ADA SPACES	1
EXISTING ADA SITE PARKING	0
PROPOSED ELECTRICAL BUILDING ADA SITE PARKING	1
TOTAL ADA SITE PARKING	1



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 PHONE: 561-845-0665 FAX: 561-863-8175
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT
 044001261
 DATE
 MAY 2025
 SCALE AS SHOWN
 DESIGNED BY SS
 DRAWN BY SS
 CHECKED BY JRL

ISLAND WAY ELECTRICAL BUILDING
 PREPARED FOR
TOWN OF JUPITER
 TOWN OF JUPITER

LICENSED PROFESSIONAL
 JASON R. LEE, P.E.
 FLORIDA LICENSE NUMBER
 67472

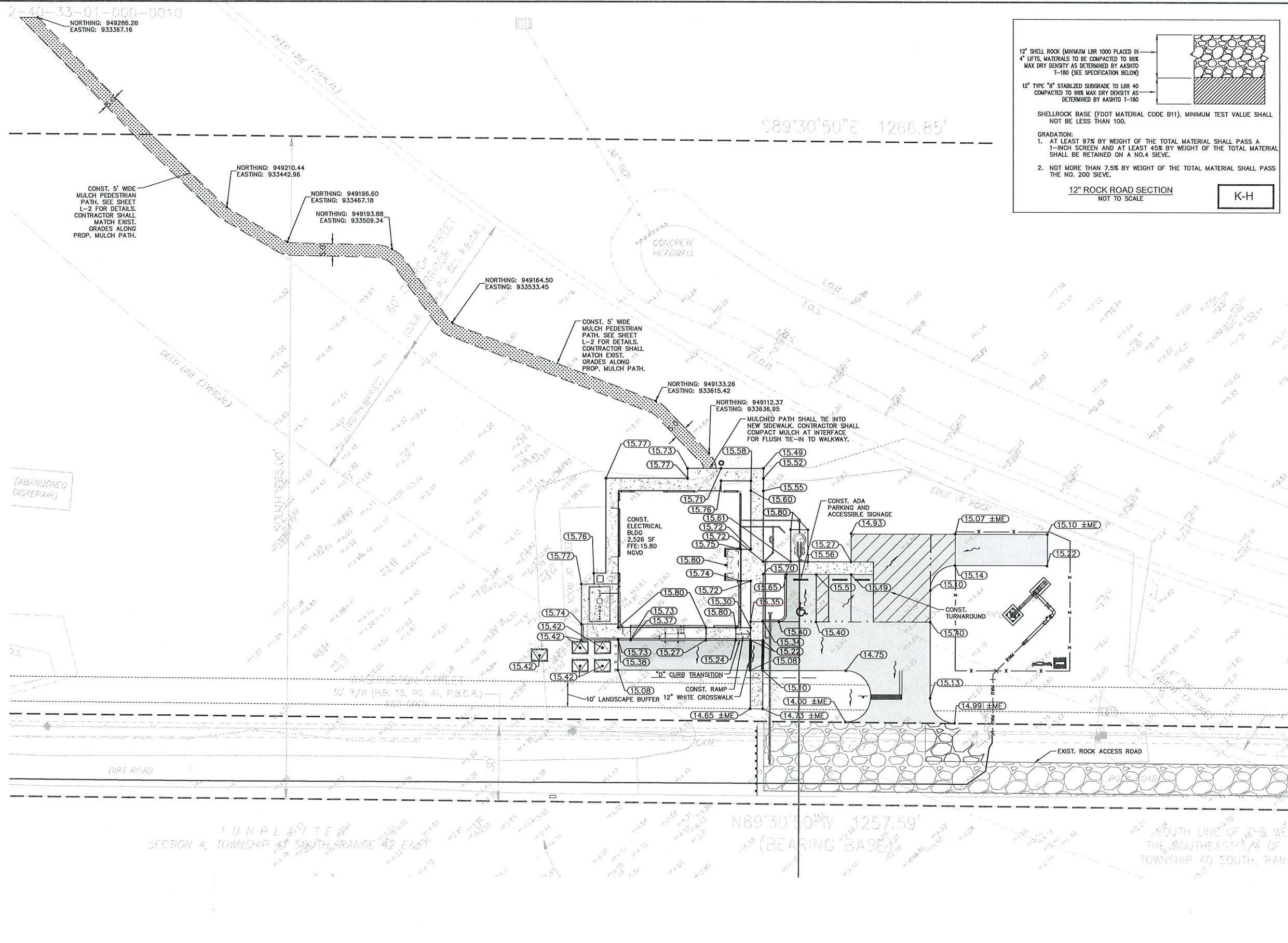
SITE PLAN

SHEET NUMBER

C-1

No.	REVISIONS	DATE	BY

Plotted By: Russ, Nicki Sheet: ISLAND WAY ELECTRICAL BUILDING Layout: C-2 PAVING AND GRADING PLAN May 05, 2025 10:46:41 am K:\web_siv\044001261 island way wells\Cadd\plan\sheet\elect_bldg\C-2 PAVING AND GRADING PLAN.dwg
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12" SHELL ROCK (MINIMUM LBR 1000 PLACED IN 4" LIFTS, MATERIALS TO BE COMPACTED TO 98% MAX DRY DENSITY AS DETERMINED BY AASHTO T-180 (SEE SPECIFICATION BELOW))

12" TYPE "B" STABILIZED SUBGRADE TO LBR 40 COMPACTED TO 98% MAX DRY DENSITY AS DETERMINED BY AASHTO T-180

SHELLROCK BASE (FDOT MATERIAL CODE B11). MINIMUM TEST VALUE SHALL NOT BE LESS THAN 100.

GRADATION:

- AT LEAST 97% BY WEIGHT OF THE TOTAL MATERIAL SHALL PASS A 1-INCH SCREEN AND AT LEAST 45% BY WEIGHT OF THE TOTAL MATERIAL SHALL BE RETAINED ON A NO.4 Sieve.
- NOT MORE THAN 7.5% BY WEIGHT OF THE TOTAL MATERIAL SHALL PASS THE NO. 200 Sieve.

12" ROCK ROAD SECTION
NOT TO SCALE

K-H

LEGEND

- PROPERTY LINE
- - - PROPOSED HIGH POINT
- - - PROPOSED SWALE
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING ELEVATION
- FLOW ARROW
- ▬ PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C-6)
- ▬ PROPOSED ASPHALT PAVEMENT (SEE DETAIL THIS SHEET)

- PAVING, GRADING AND DRAINAGE NOTES**
- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON [NGVD] NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0% THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1V:12H (8.3%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
 - TYPE "D" CURB AND TYPE "F" CURB AND GUTTER SHALL BE CONSTRUCTED PER FDOT INDEX 300. ALL TYPE "D" CURB SHALL HAVE A 3' STRAIGHT TRANSITION AT THE BEGINNING AND ENDING POINTS WHEN NOT CONNECTING TO TYPE "F" CURB AND GUTTER.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB FOR TYPE "D" CURB OR EDGE OF PAVEMENT FOR NO CURB, UNLESS OTHERWISE NOTED.
 - ALL RAMPS SHALL COMPLY WITH FDOT INDEX 522-002.
 - PROPOSED ELEVATIONS OF CURB REPRESENT FACE OF CURB OR EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 - PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOD/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
 - MATCH EXISTING GRADES AT TIE-IN LOCATIONS AT PROPERTY LINES.
 - TOP OF LANDSCAPED OR SODDED AREA AGAINST BUILDING SHALL BE MIN. 4" BELOW FINISH FLOOR ELEVATION AND AGAINST SIDEWALK SHALL BE MIN. 2" BELOW FINISH GRADE
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OFF OF THE ASPHALT PAVEMENT.
 - CONTRACTOR SHALL REGRADE SOD TO PROVIDE POSITIVE DRAINAGE TO THE PROPOSED SITE AREA. REFER TO LANDSCAPE PLANS FOR SOD EXTENTS.
 - ALL STOP BARS, CROSS WALKS, AND OTHER PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
 - REFER TO LANDSCAPE PLANS FOR PLANTING AND DETAILS.
 - PROJECT AREA IS LOCATED IN ZONE X BY FEMA FIRM 12099C0159G DATED 12/20/2024.
- EXISTING SPOT GRADES ARE SHOWN AND REFERENCED FROM AVROM SURVEY DATED 8/12/2021

ONE (1) 1" SP-9.5 (TRAFFIC LEVEL B) ASPHALT CONCRETE WITH TACK COAT AT 0.06 GAL/SY OVER ONE (1) 1" SP-9.5 (TRAFFIC LEVEL B) ASPHALT CONCRETE WITH RC-70 PRIME AT 0.10 GAL/SY

8" CRUSHED LIMEROCK BASE LBR 100 COMPACTED TO 98% MOIFIED PROCTOR

12" STABILIZED SUBGRADE WITH MINIMUM LBR OF 40 COMPACTED TO 95% MOIFIED PROCTOR

PRIME LIMEROCK BASE: TACK BETWEEN ASPHALT LAYER

STANDARD DUTY ASPHALT PAVEMENT
NOT TO SCALE

K-H

PLANS ARE IN NGVD 1929 DATUM
CONVERSION EQUATION IS BELOW:
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No.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT 044001261
DATE MAY 2025
SCALE AS SHOWN
DESIGNED BY RR
DRAWN BY SS
CHECKED BY JRL

ISLAND WAY ELECTRICAL BUILDING

PREPARED FOR
TOWN OF JUPITER

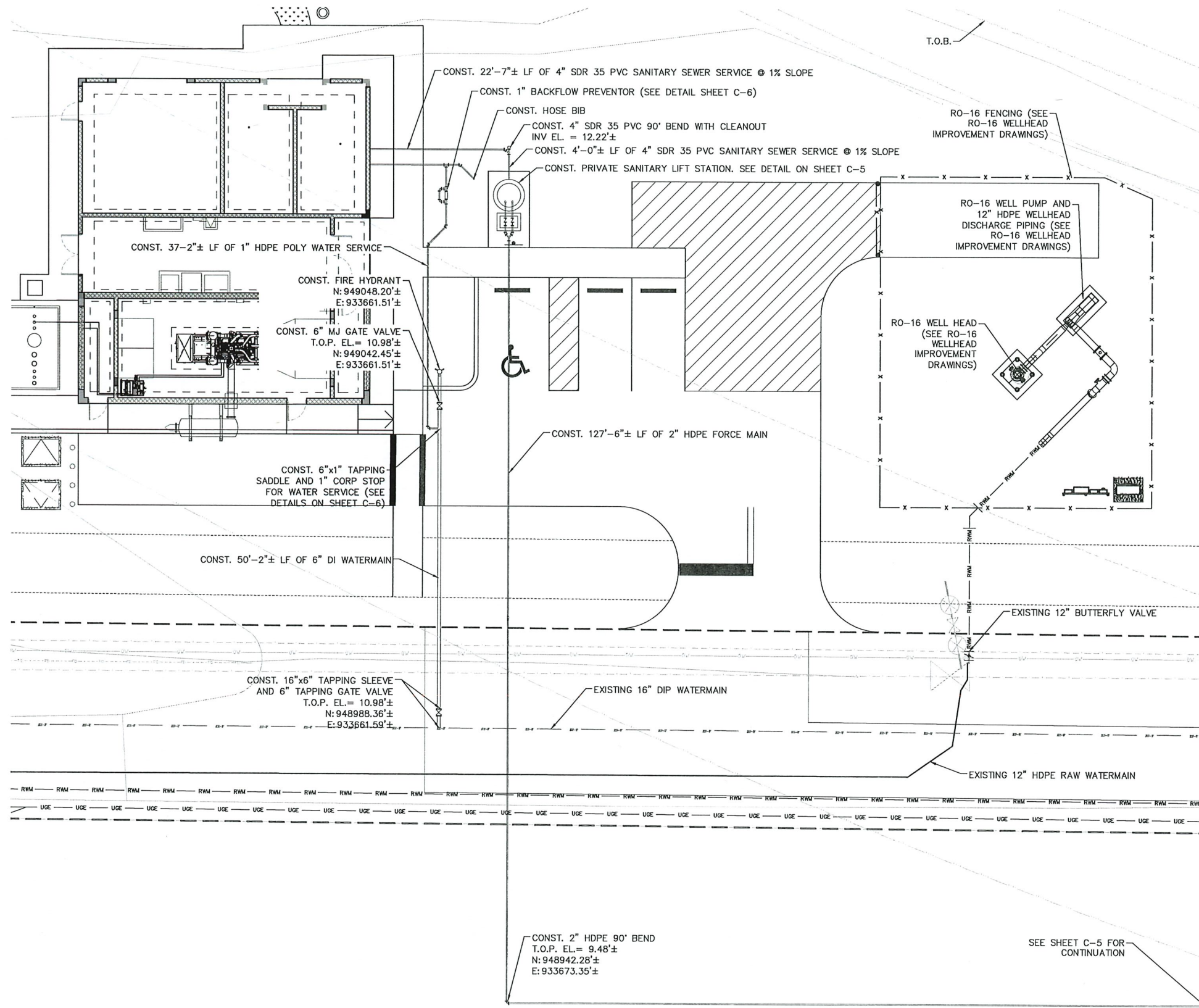
TOWN OF JUPITER FLORIDA

LICENSED PROFESSIONAL
JASON R. LEE, P.E.
FLORIDA LICENSE NUMBER 67472
DATE: 05/05/2025

PAVING AND GRADING PLAN

SHEET NUMBER
C-2

Plotted By: Russo, Nicki
 Sheet Set: ISLAND WAY ELECTRICAL BUILDING Layout: C-3 UTILITY PLAN
 Date: MAY 06, 2025 10:46:53am
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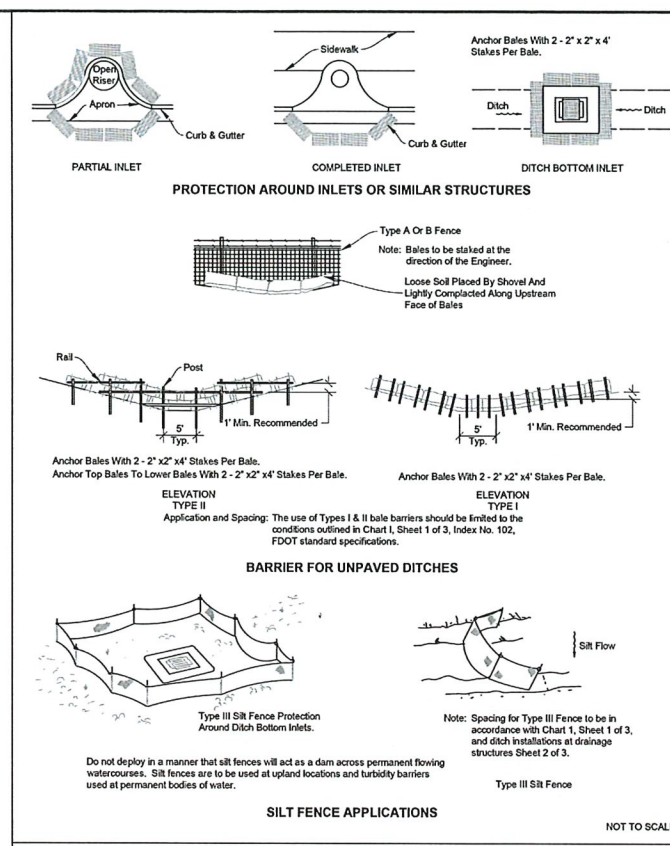
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 TOWN OF JUPITER
 TOWN OF JUPITER
 FLORIDA

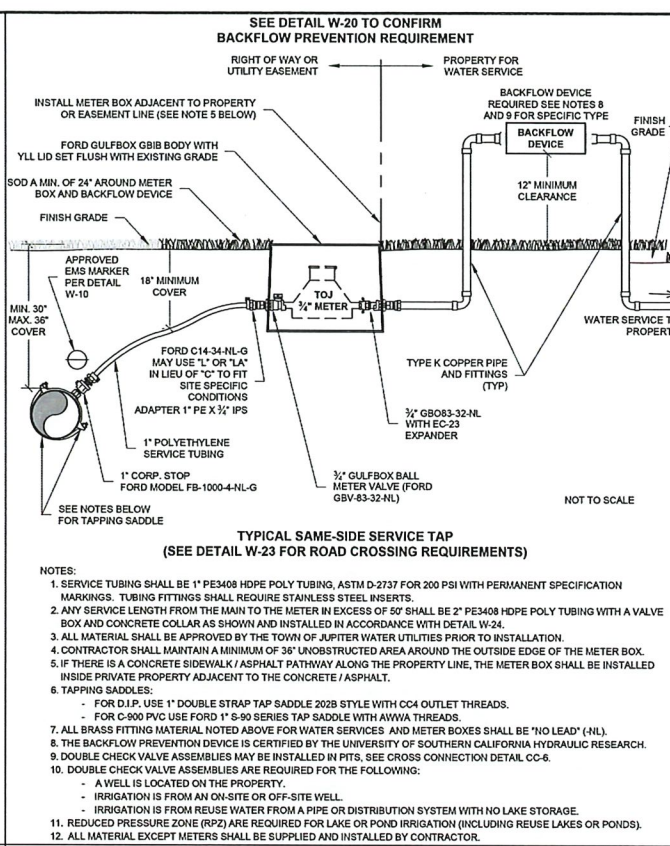
LICENSED PROFESSIONAL
 JASON R. LEE, P.E.
 FLORIDA LICENSE NUMBER
 67472
 DATE: 05/05/2025

UTILITY PLAN
 SHEET NUMBER
C-3

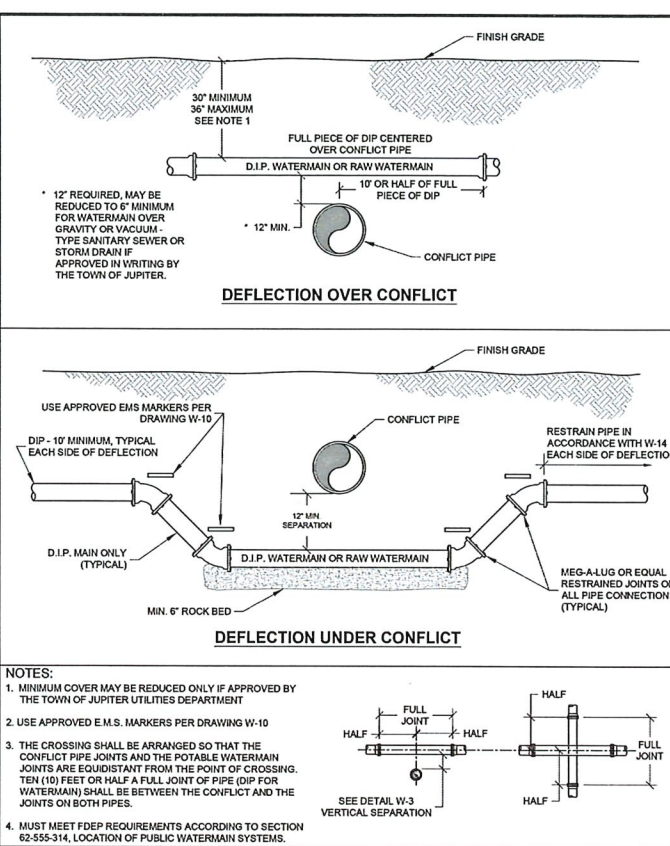
Plotted By: Russo, Nick | Sheet Set: ISLAND WAY ELECTRICAL BUILDING - Layout-C-6 CONSTRUCTION DETAILS (1) | May 05, 2025 10:47:10am | K:\web_civil\044001261_island_way_wells\Cadd\plan\sheeta\select_bldg\C-7 CONSTRUCTION DETAILS (2).dwg
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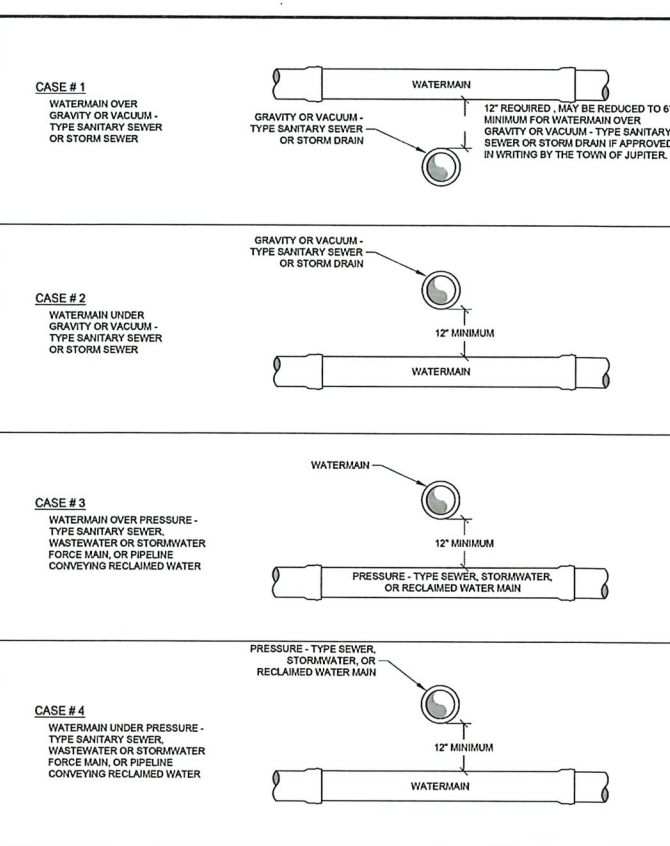
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JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 12/2008
 DRAWING NO: SW-12



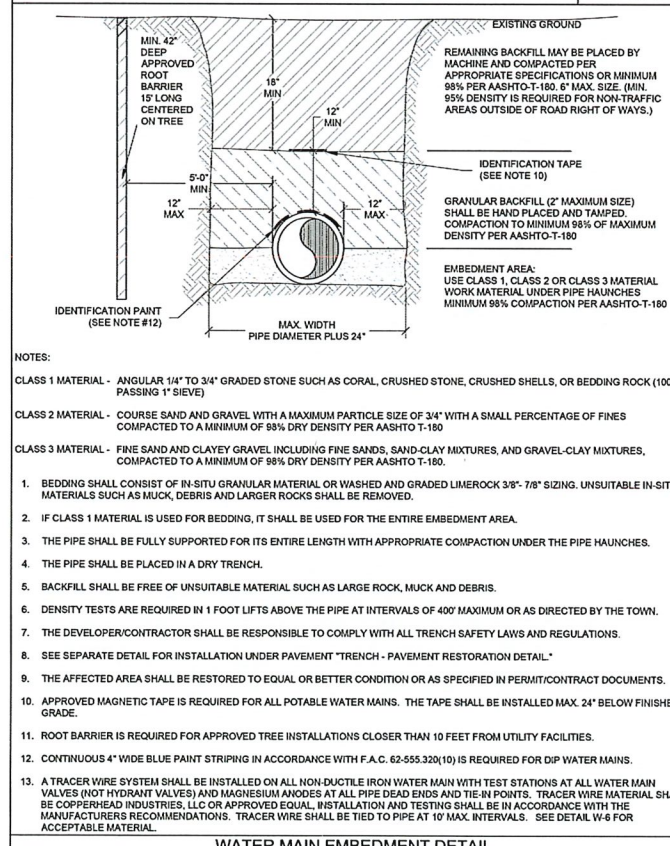
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 CONSTRUCTION STANDARDS AND DETAILS
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 DRAWING NO: W-20B



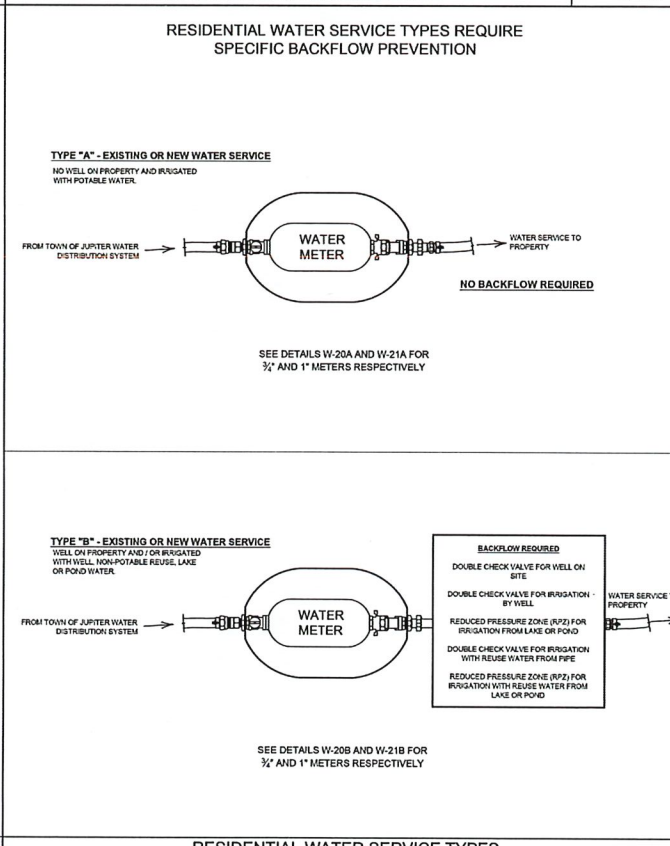
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JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 05/2013
 DRAWING NO: W-01



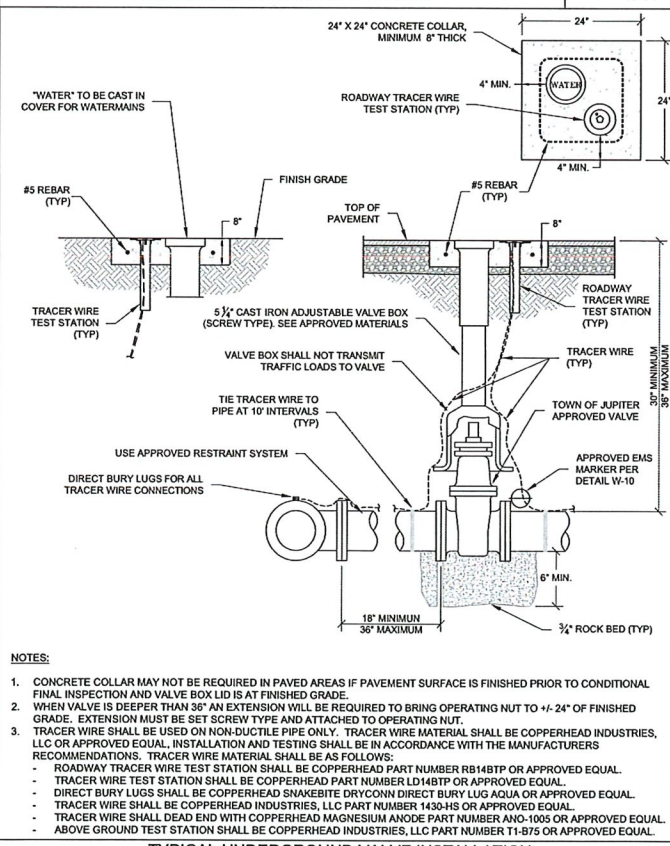
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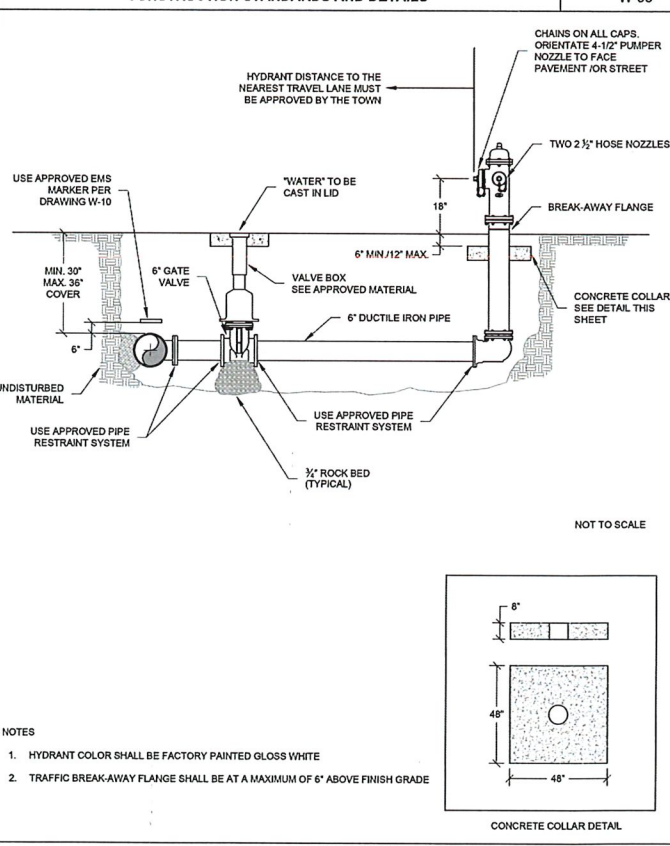
WATER MAIN EMBEDMENT DETAIL
JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 06/2017
 DRAWING NO: W-05



RESIDENTIAL WATER SERVICE TYPES
JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 02/2018
 DRAWING NO: W-20



TYPICAL UNDERGROUND VALVE INSTALLATION
JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 06/2017
 DRAWING NO: W-6



TYPICAL FIRE HYDRANT DETAIL
JUPITER UTILITIES
 CONSTRUCTION STANDARDS AND DETAILS
 DATE APPROVED: 06/2018
 DRAWING NO: W-07

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TOWN OF JUPITER	FLORIDA

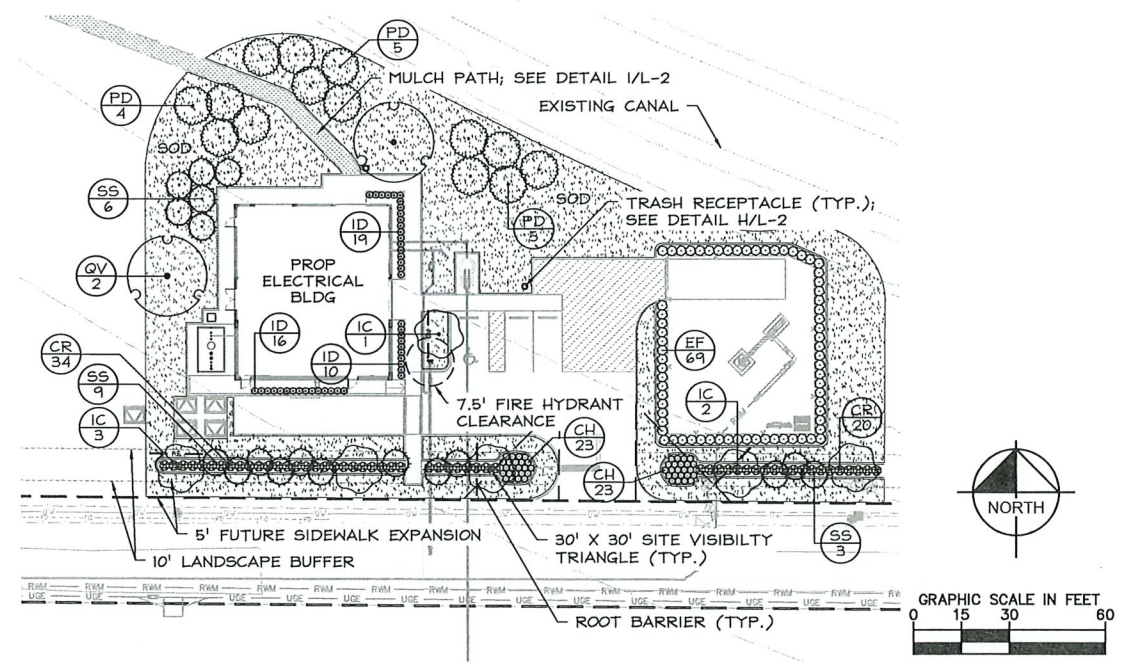
ISLAND WAY ELECTRICAL BUILDING
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TOWN OF JUPITER
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LICENSED PROFESSIONAL
JASON R. LEE, P.E.
 FLORIDA LICENSE NUMBER
 67472
 DATE: 05/05/2025

CONSTRUCTION DETAILS (1)

SHEET NUMBER
C-6

Plotted By: Webster, Brooke
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 May 06, 2025 09:16:45am
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PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	DROUGHT TOL.	QTY
TREES								
IC	Ilex cassine	Dahoon Holly	Cont.	2" Cal.	12' HT X 5' SPR	Yes	Yes	6
PD	Pinus elliottii densa Stagger Heights in Groupings	Slash Pine	Cont.	3.5" Cal.	12'-16' O.A.	Yes	Yes	14
QV	Quercus virginiana	Southern Live Oak	Cont.	3" Cal.	14' HT X 6' SPR	Yes	Yes	2
SS	Sabal palmetto Slick Trunk, Stagger Heights in Groupings. 1/3 To Be Curved Trunks	Cabbage Palm	Cont.		10' - 18' CT	Yes	Yes	18
SHRUBS								
CH	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	Cont.	24" O.C.	18"x18"	Yes	Yes	46
CR	Chrysobalanus icaco 'Red Tip'	Red Tip Coco Plum	Cont.	36" O.C.	24"x24"	Yes	Yes	54
EF	Eugenia foetida Full To Base	Spanish Stopper	Cont.	36" O.C.	60"x36"	Yes	Yes	69
ID	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly	Cont.	24" O.C.	18"x18"	Yes	Yes	45
SOD/SEED								
SOD	Paspalum notatum 'Argentine'	Argentine Bahiagrass	Sod					± 11,681 sf

CODE REQUIREMENTS	REQUIRED	PROVIDED
SEC 23-6b(8): PROPERTY PERIMETER REQUIREMENTS FOR ANY COMMERCIAL ZONE (P1), ONE TREE (12-14" HT), EVERY 25 LF, PLUS A CONTINUOUS 2-3' HEDGE 208 LF / 25 LF = 9 TREES	9 TREES	5 TREES 12 PALMS
SEC 23-70(2)A: INTERIOR LANDSCAPE - FOUNDATION PLANTINGS A MINIMUM OF 40% OF THE PERIMETER OF THE PRINCIPAL BUILDING SHALL BE IMPROVED WITH FOUNDATION PLANTINGS. 208 LF X .40 = 84 LF	84 LF	84 LF
SEC 23-70(2)C: INTERIOR LANDSCAPE - FOUNDATION PLANTINGS THE MINIMUM WIDTH OF ANY FOUNDATION PLANTING AREA SHALL BE 3 FEET, MEASURED FROM A POINT LOCATED 12' FROM THE BUILDING.	336 SF	336 SF
SEC 23-70(2)F: INTERIOR LANDSCAPE - FOUNDATION PLANTINGS A MINIMUM OF ONE SHADE TREE (12-14' HT), 3 PALM TREES, (8-12' HT), OR 3 ACCENT TREES (6-10' HT), SHALL BE PROVIDED FOR EVERY 250 SF OF FOUNDATION PLANTING. 788 SF / 250 SF = 4 SHADE TREES, 12 PALMS, OR 12 ACCENT TREES	4 TREES	2 TREES 6 PALMS
SEC 23-70(3)A: VEHICULAR USE AREA STANDARDS EACH LANDSCAPE ISLAND PROVIDED SHALL CONTAIN ONE TREE (12-14' HT)	1 TREE	1 TREE

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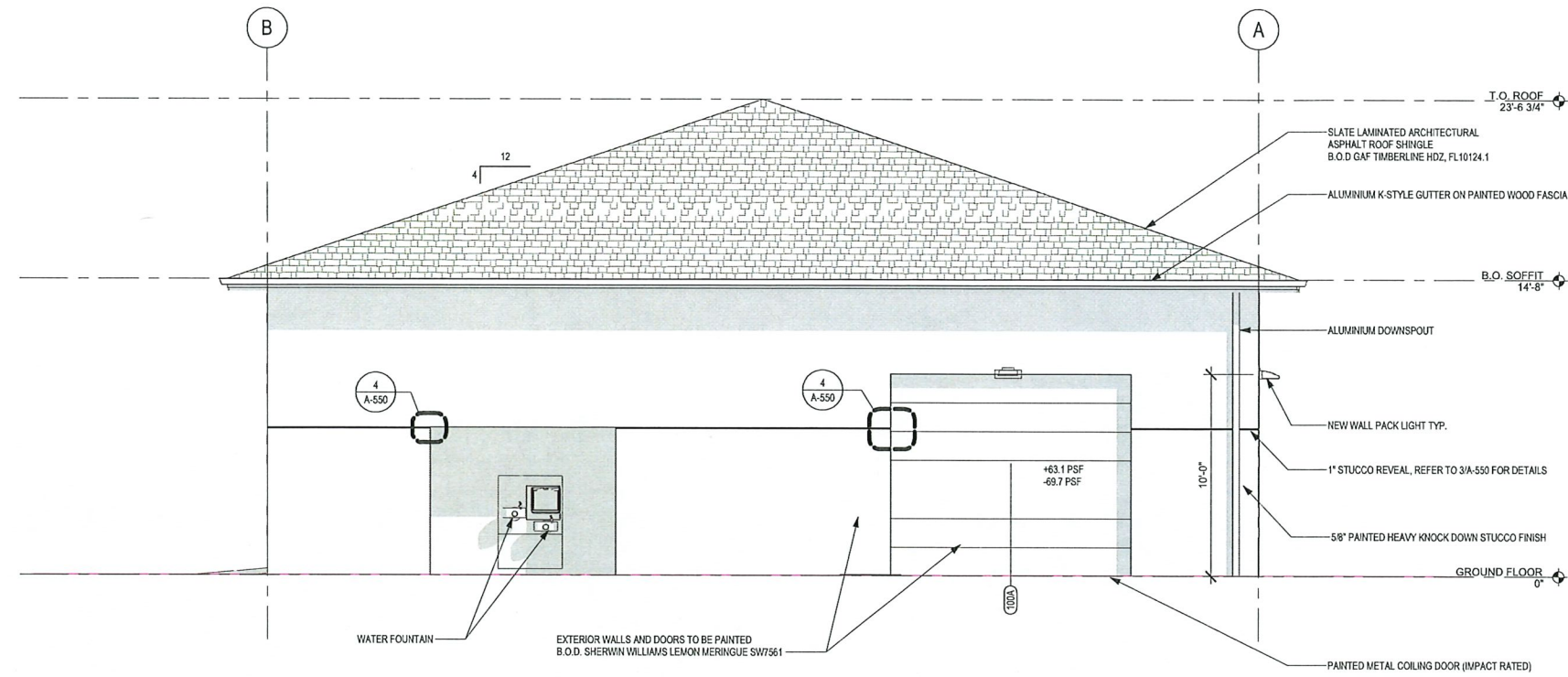
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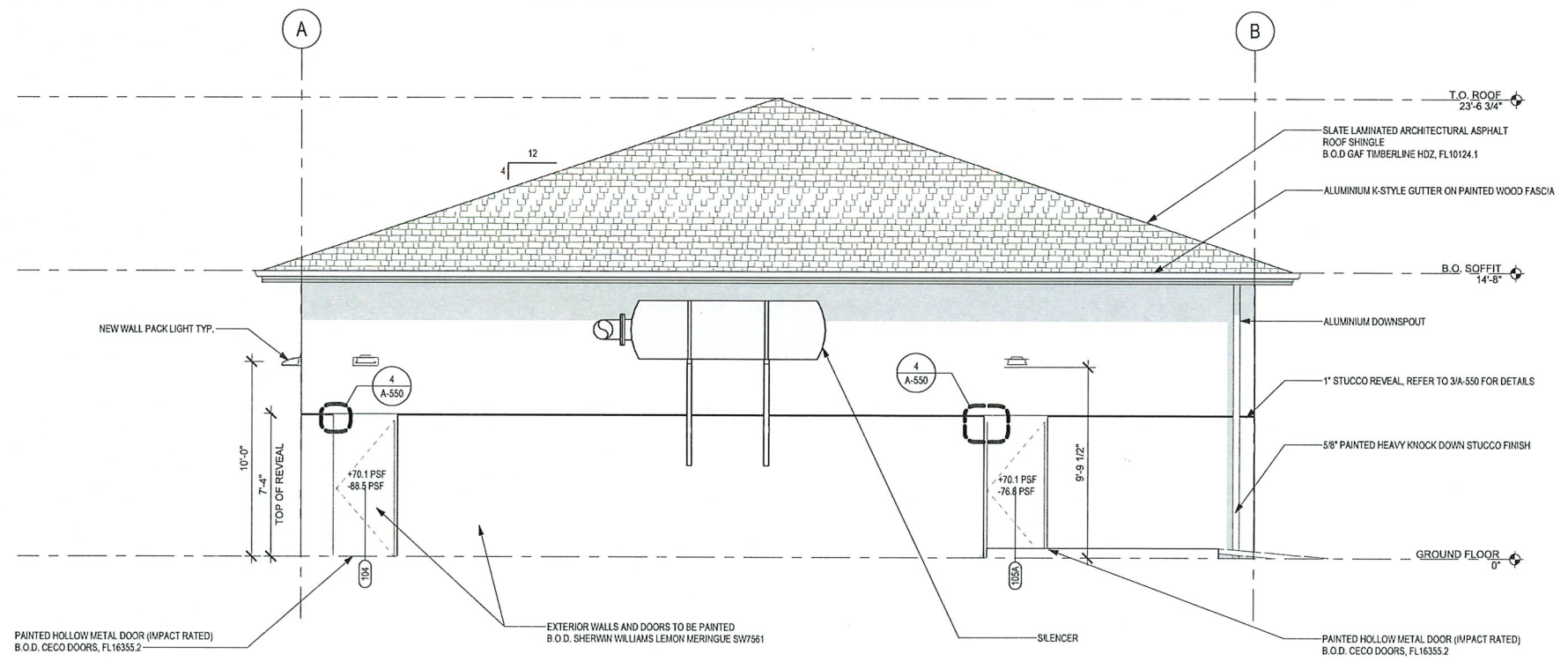
LICENSED PROFESSIONAL TRICIA C. RICHTER, PLA FLORIDA LICENSE NUMBER LA#6667244 DATE: 05/05/2025

LANDSCAPE PLAN

SHEET NUMBER L-1



North Elevation 1
SCALE: 1/4" = 1'-0"



South Elevation 2
SCALE: 1/4" = 1'-0"

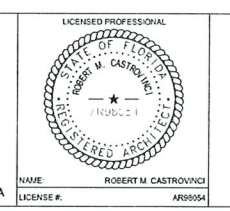
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Architecture • Planning • Interior Design
1545 Centrepark Drive North, West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

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DATE
05/09/2025
SCALE
DESIGNED BY
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CHECKED BY RC

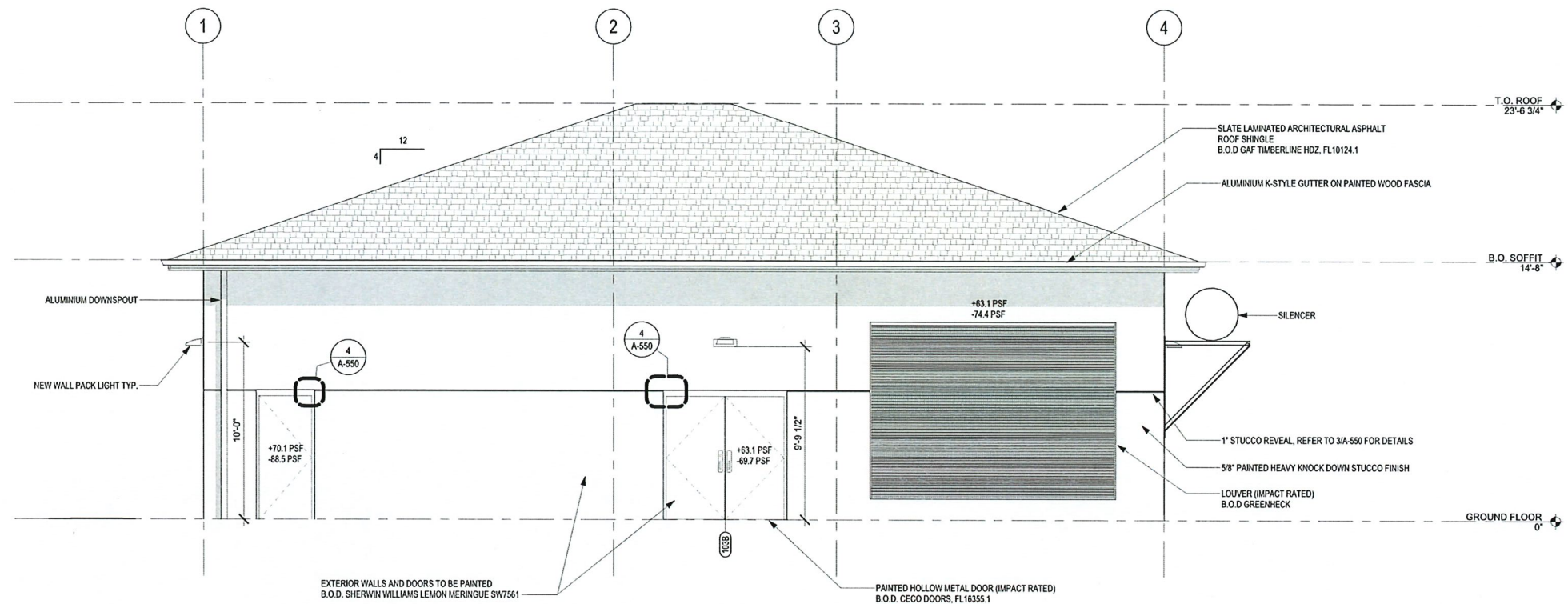
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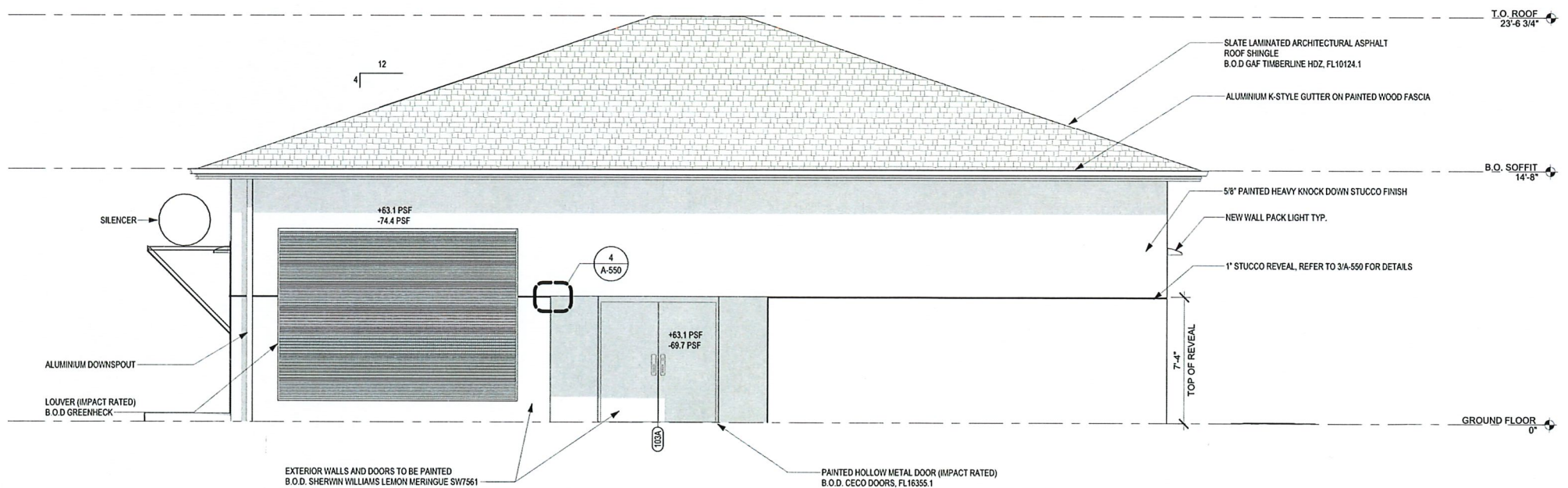


EXTERIOR ELEVATIONS

SHEET NUMBER
A-501



West Elevation 1
SCALE: 1/4" = 1'-0"



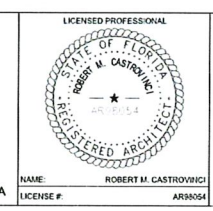
East Elevation 2
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

SHEET NUMBER
A-502